

**BYWATER CABINET SHOP SITE PLAN
340 NORTH 400 WEST
PLANNING COMMISSION MEETING
FEBRUARY 8, 2018**

ZONING- M-1 OK

UTILITIES- Existing-

PARKING- Proposed all around building.

FENCING- If outside storage is planned. Could require it were it borders residential.

LANDSCAPPING- They should provide more specifics. Landscaping would improve this site.

LIGHTING-

FIRE OFFICIAL REQUIRMENTS- Will need to meet those requirements as part of the building permit process.

STORMWATER- May be Ok but should prove some more detail. Swales may be needed in some locations.

GARBAGE-

SIGN- ?

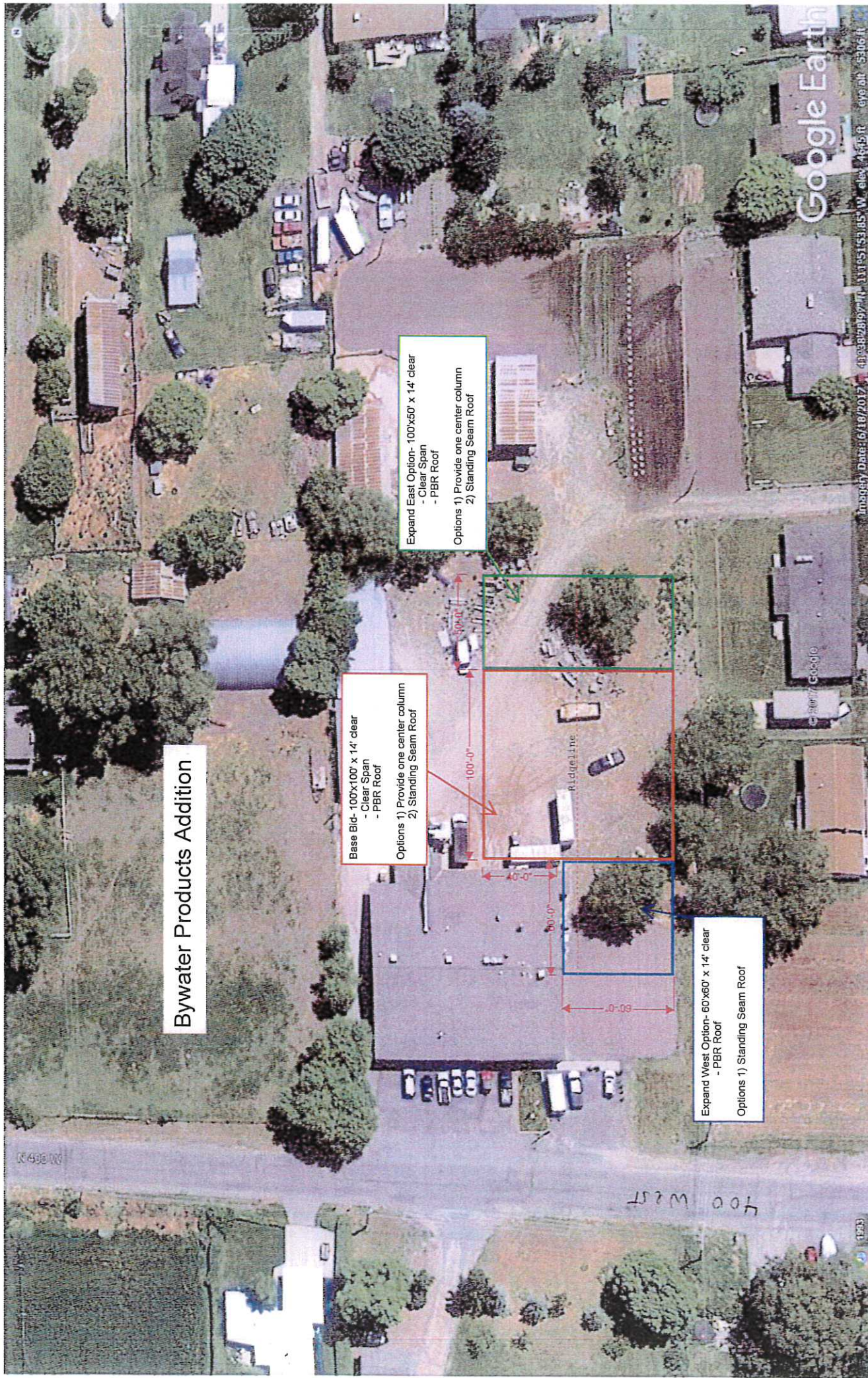
NOTES- Bret Bywater is requesting to expand their current cabinet shop. This will more than double what is there currently. Where this borders residential areas, we need to be sensitive about noise and dust that could result from this business. We had complaints off and on for several years about the noise so they changed their motor on the dust collector and we have not received any of those complaints since then.

Bywater Products Addition

Base Bid- 100'x100' x 14' clear
- Clear Span
- PBR Roof
Options 1) Provide one center column
2) Standing Seam Roof

Expand East Option- 100'x50' x 14' clear
- Clear Span
- PBR Roof
Options 1) Provide one center column
2) Standing Seam Roof

Expand West Option- 60'x60' x 14' clear
- PBR Roof
Options 1) Standing Seam Roof



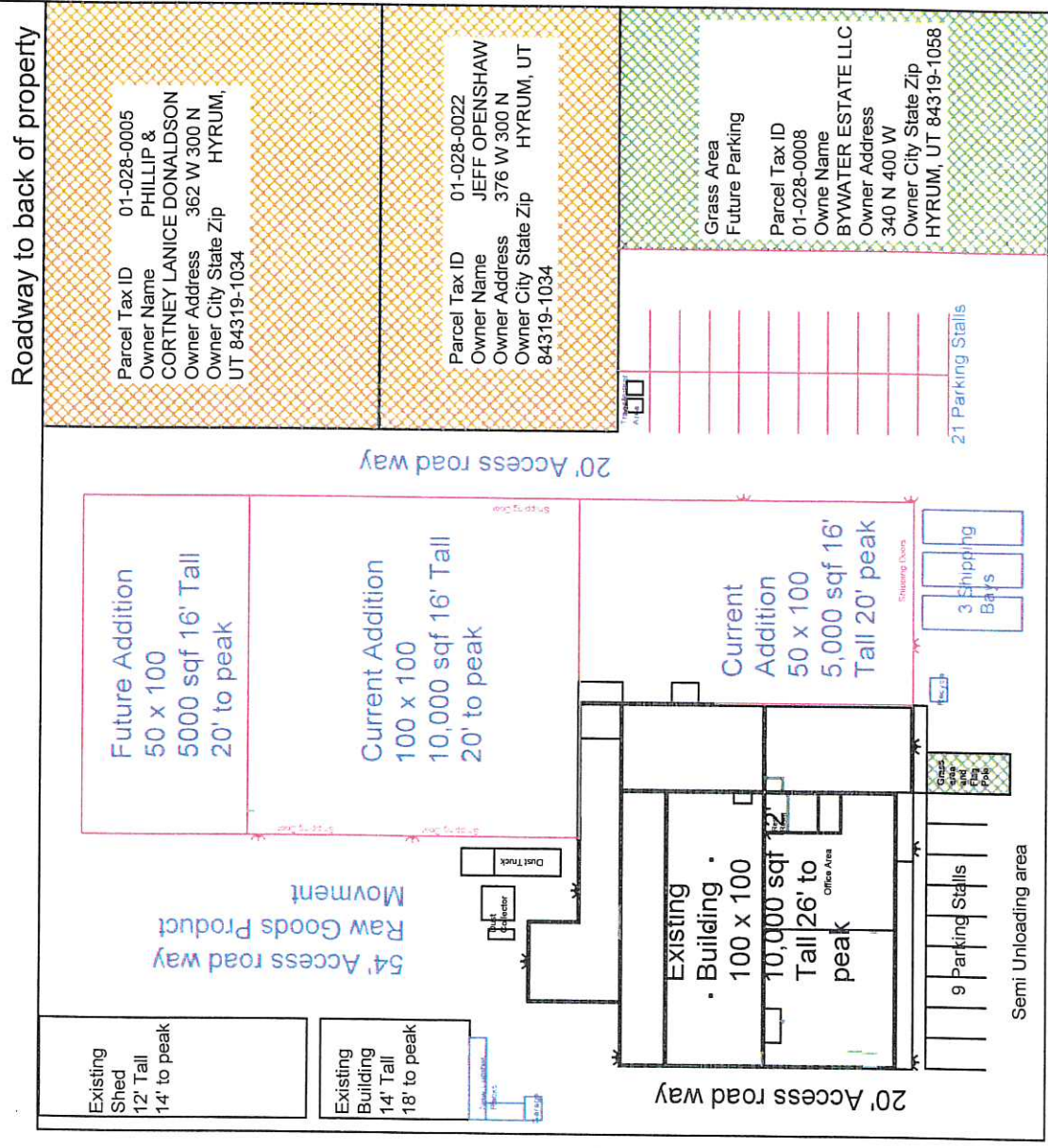
Google Earth

Imagery Date: 6/18/2017 4:38:28 PM -111.5153185 W elev 415 ft eye alt 5506 ft

1993

Parcel Tax ID 01-028-0004
 Owner Name NOEL DEVERL & JEANETTE BYWATER
 Owner Address 414 FERNWOOD DR
 Owner City State Zip HYRUM, UT 84319-1707

Drawing Legend
 Red Line- Proposed Changes
 Blue- Notes of Change
 Black- Existing Items
 Green- Grass Area
 New Lighting Indication



Hwy SR 101 / 300 North

400 West

North



Scale 6.82' per 1/8"