

CONCEPT PLAN
COBBLECREEK TOWNHOMES
~230 NORTH 800 EAST
PLANNING COMMISSION MEETING
MAY 10, 2018

Utilities:

All are available in this area. A sewer and irrigation main runs down the West side of the highway. Water and electrical lines are available on the East side of the Highway. The utility layout will be dealt with during the preliminary plat process.

Roads:

These will be private roads within the development. They will need to get a UDOT access permit for this change of use. Road will be lined up with Anderson avenue as much as possible.

Elevations:

As shown.

Signage:

Discuss

Fencing:

Probably will want to require around the development to separate it from the storage units and gravel pit.

HOA: Jake has sent an estimated cost to run the HOA. He has included a \$400 per unit cost to add to the HOA fund to get it going. We can't require that but if he chooses to do that it would be a big plus for the HOA.

Landscaping;

To meet multi-family code requirements. Full plan to be submitted with the preliminary plat. They have added landscaping strip by garages so that asphalt doesn't run up to the buildings.

Other:

The layout was to be changed, as per conversation with the City Council. The Council wanted to see commercial in this area so they have added that to the front. They will tear down the one storage building that had run thru this PUD. The density in the townhome part of this development is similar to Green Meadows.

Cobble Creek Townhomes

27 units @ \$65 HOA Fee = \$1,755.00 monthly

1,755.00 x 12 = \$21,060 yearly

Estimated Operating

Fixed \$300 Hyrum

Fixed \$300 Insurance

Snow Removal

\$60 Monthly

Lawn Care/Maintenance

\$350 Monthly

Mis.

HOA Management Fee \$5 unit @24

Fixed \$120 Monthly

Total estimated Operating monthly \$300 (Hyrum Util.) + 300 (Insurance) + 120 (HOA Fee) + 205 (lawn care and

\$925

1,755

-925 Total average monthly operating

830

operating \$1,050 (12 month = \$12,600)

reserve \$705 (12 month = \$8,460)

each sale \$400 + 27 units \$ 10,800.00

reserve total after year 1 buildout = \$19,260.00

operating balance total after year 1 buildout = \$1,500.00

01-003-0060
EMMANUEL BAPTIST CHURCH
PO BOX 318
HYRUM, UT 84319

COBBLECREEK TOWNHOMES

PART OF THE NORTHWEST OF SECTION 3,
TOWNSHIP 10 NORTH, RANGE 1 EAST, SLB&M

CONCEPT



SCALE 1"=30' for 24"x36"
1"=60' for 11"x17"

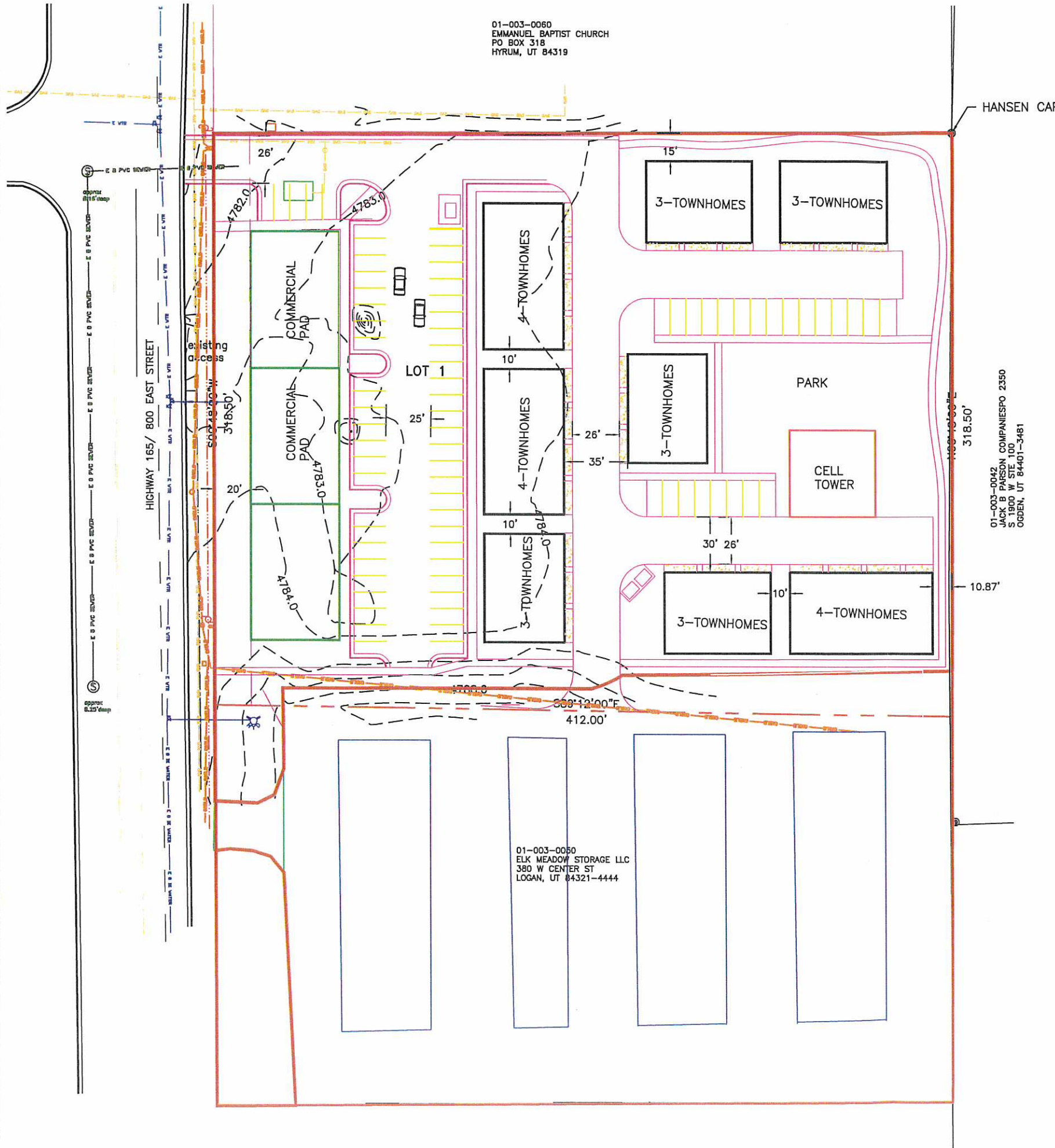
NOTES:

PROPERTY OWNER:
SCOTT A & KIM S TRS NYDEGGER
380 W CENTER ST
LOGAN, UT 84321-4444

DEVELOPER:
JAKE THOMPSON
2990 NORTH 1800 EAST
NORTH LOGAN, UTAH 84321
435-784-2418

- AREA: 3.01 ACRES
- TOTAL LOTS: 2
- TOTAL UNITS ON LOT 1: 24 ON 1.89 ACRES (12.72 UNITS/ACRE)
REQUIRED PARKING SPACES: 60
PROVIDED PARKING SPACES: 48 COVERED, 32 UNCOVERED
OPEN SPACE LOT 1:
- WATER PROVIDED BY HYRUM CITY
- SEWER PROVIDED BY HYRUM CITY
- INTENT-PROVIDED AFFORDABLE HOUSING OPTIONS IN AN AREA THAT WILL STIMULATE COMMERCIAL GROWTH IN HYRUM.

- PROJECT BOUNDARY
- PROJECT SETBACK
- EXISTING 1' CONTOUR



01-003-0042
JACK B PARSON COMPANIESPO 2350
3180 W. 5121 100
SODDEN, UT 84401-3481

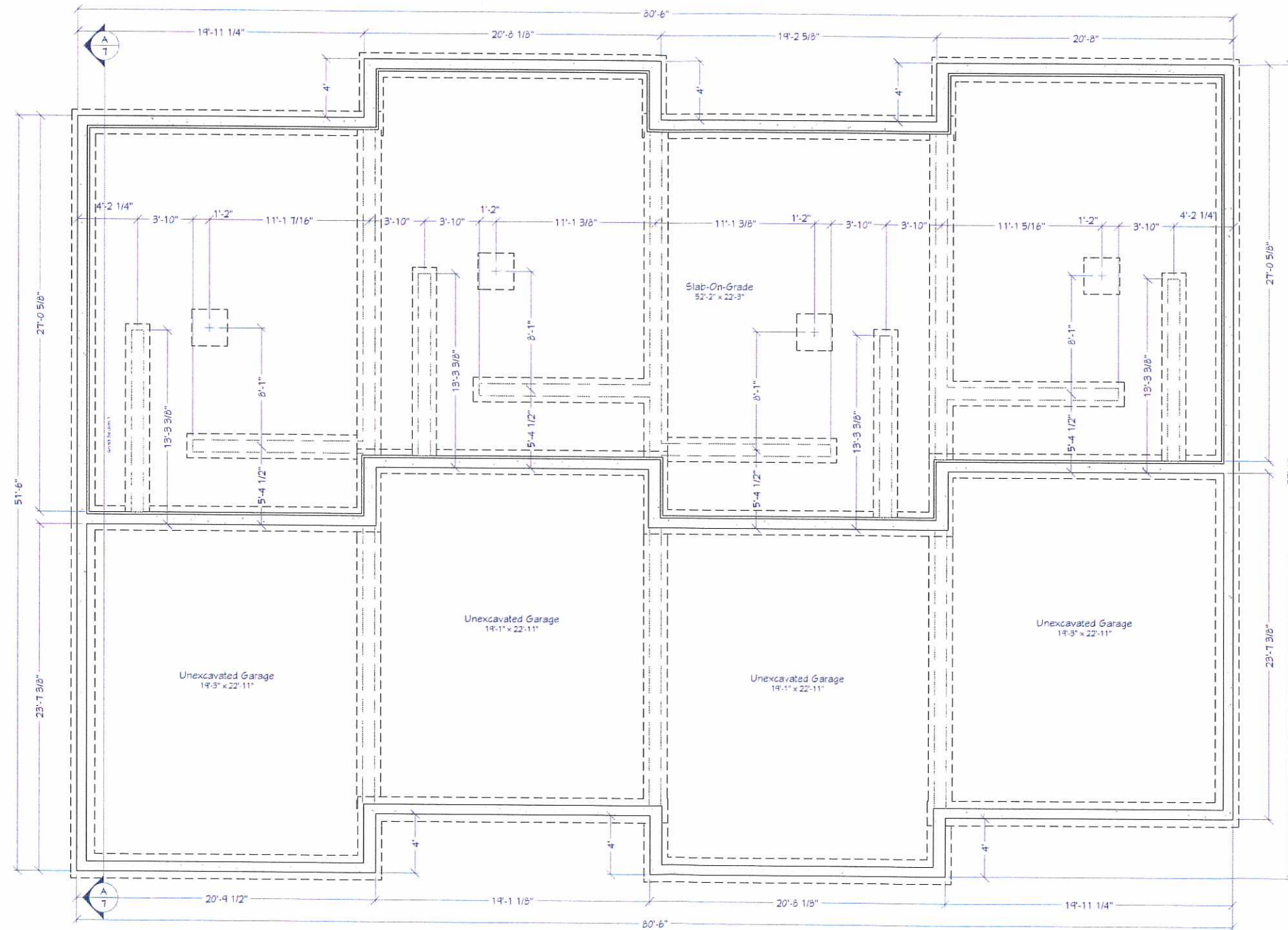
01-003-0050
ELK MEADOW STORAGE LLC
380 W CENTER ST
LOGAN, UT 84321-4444

SCALE	1"=30'	DRAWN BY	AVM
DATE	10-2017	DRAWING	HYRUM1.DWG
JOB NO.			

PROJECT
COBBLECREEK TOWNHOMES
PART OF THE NORTHWEST OF SECTION 3, TOWNSHIP 10
NORTH, RANGE 1 EAST, SLB&M
HYRUM, UTAH

ALLIANCE CONSULTING ENGINEERS
150 EAST 200 NORTH STUIE P
LOGAN, UTAH 84321
(435) 755-5121





Foundation plan
 Scale: 1/4' = 1'

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PROJECT FOR:
 Cobblecreek Town Homes

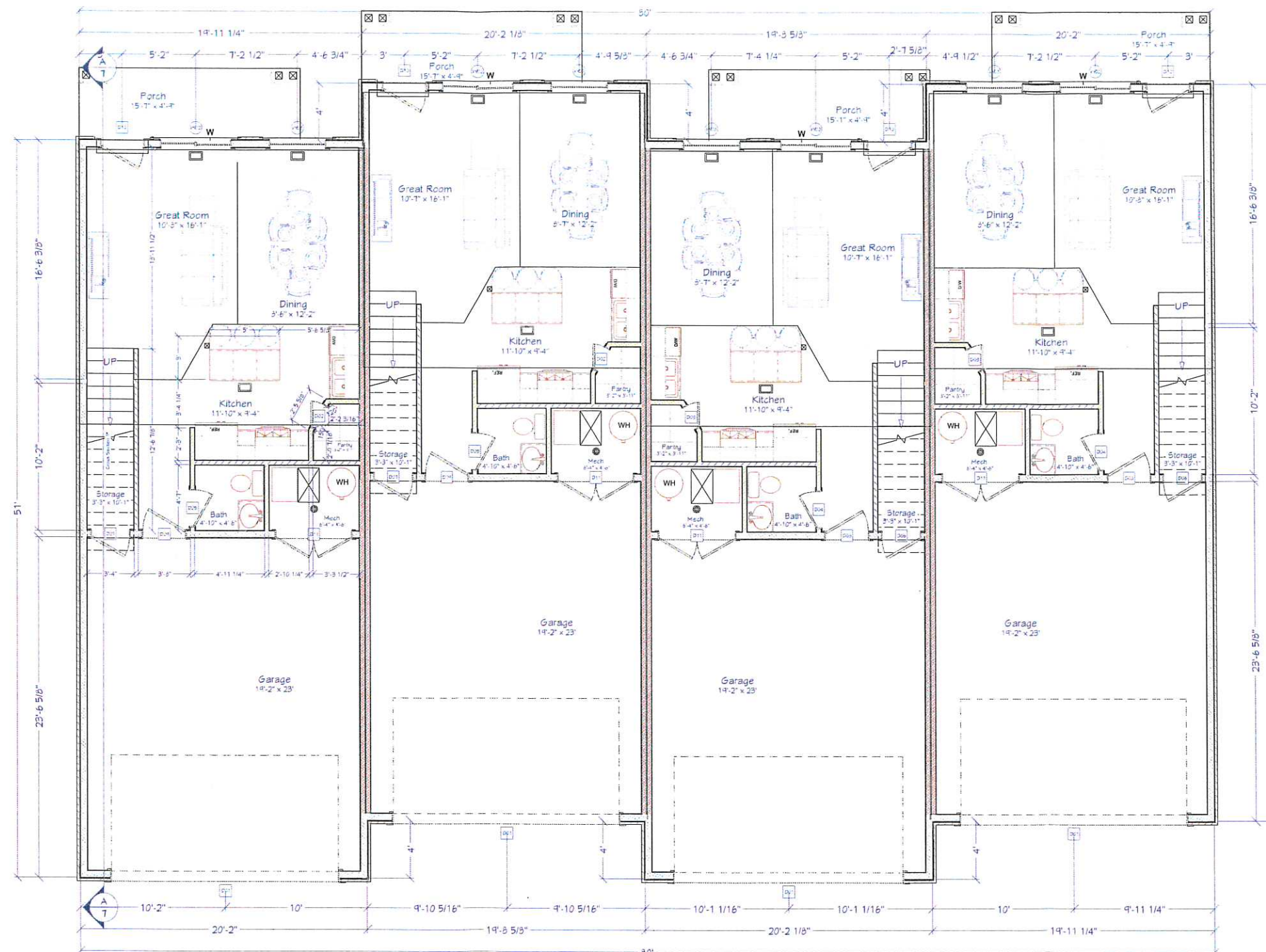
Foundation plan

TITLE:

DATE:
 1/9/2018

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DO NOT SCALE 11"X17" PRINTS
 THEY ARE NOT TO SCALE



MASTER DOOR SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O	NUMBER
D01	4	1	16050	142"X96"X1 3/4"	R	D01
D02	2	1	1563	L IN 20"X30"X1 3/8" L IN	R	D02
D03	2	1	1563	R IN 20"X30"X1 3/8" R IN	R	D03
D04	2	1	2663	L IN 30"X30"X1 3/8" L IN	R	D04
D05	2	1	2663	R IN 30"X30"X1 3/8" R IN	R	D05
D06	2	1	2363	L EX 32"X30"X1 3/4" L EX	R	D06
D07	2	1	2363	R EX 32"X30"X1 3/4" R EX	R	D07
D08	2	1	3063	L EX 36"X30"X1 3/4" L EX	R	D08
D09	2	1	3063	R EX 36"X30"X1 3/4" R EX	R	D09
D10	4	1	3075	36"X92"	R	D10
D11	4	1	5463	L/R EX (2) 32"X30"X1 3/8" L/R EX	R	D11
D12	2	2	2063	L IN 24"X30"X1 3/8" L IN	R	D12
D13	2	2	2063	R IN 24"X30"X1 3/8" R IN	R	D13
D14	2	2	2463	L IN 28"X30"X1 3/8" L IN	R	D14
D15	2	2	2463	R IN 28"X30"X1 3/8" R IN	R	D15
D16	2	2	2363	L IN 32"X30"X1 3/8" L IN	R	D16
D17	2	2	2363	R IN 32"X30"X1 3/8" R IN	R	D17
D20	5	2	3063	L IN 36"X30"X1 3/8" L IN	R	D20
D21	4	2	5063	L/R IN (2) 30"X30"X1 3/8" L/R IN	R	D21
D22	6	2	3063	R IN 36"X30"X1 3/8" R IN	R	D22
D24	4	2	6063	L/R IN (2) 36"X30"X1 3/8" L/R IN	R	D24
D25	6	2	4063	L/R IN (2) 24"X30"X1 3/8" L/R IN	R	D25

MASTER WINDOW SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS	TEMPERED	QTY
W01	4	2	3060DH	36"X12"DH	YES		4
W02	4	1	5048RS	60"X54"RS			4
W03	14	2	1616FX	18"X18"FX			14
W04	4	2	2030DH	24"X36"DH			4
W05	4	2	3050SH	36"X60"SH	YES		4
W06	5	2	5050LS	60"X60"LS	YES		5
W07	2	2	5060LS	60"X12"LS	YES		2
W08	4	1	4048FX	48"X54"FX			4
W09	1	2	5046LS	60"X54"LS	YES		1

Each unit 461 sq.ft.
Main floor total 1,844 sq.ft.
Scale: 1/4" = 1'

ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD INSULATION WITH A MINIMUM OF R-10, 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49

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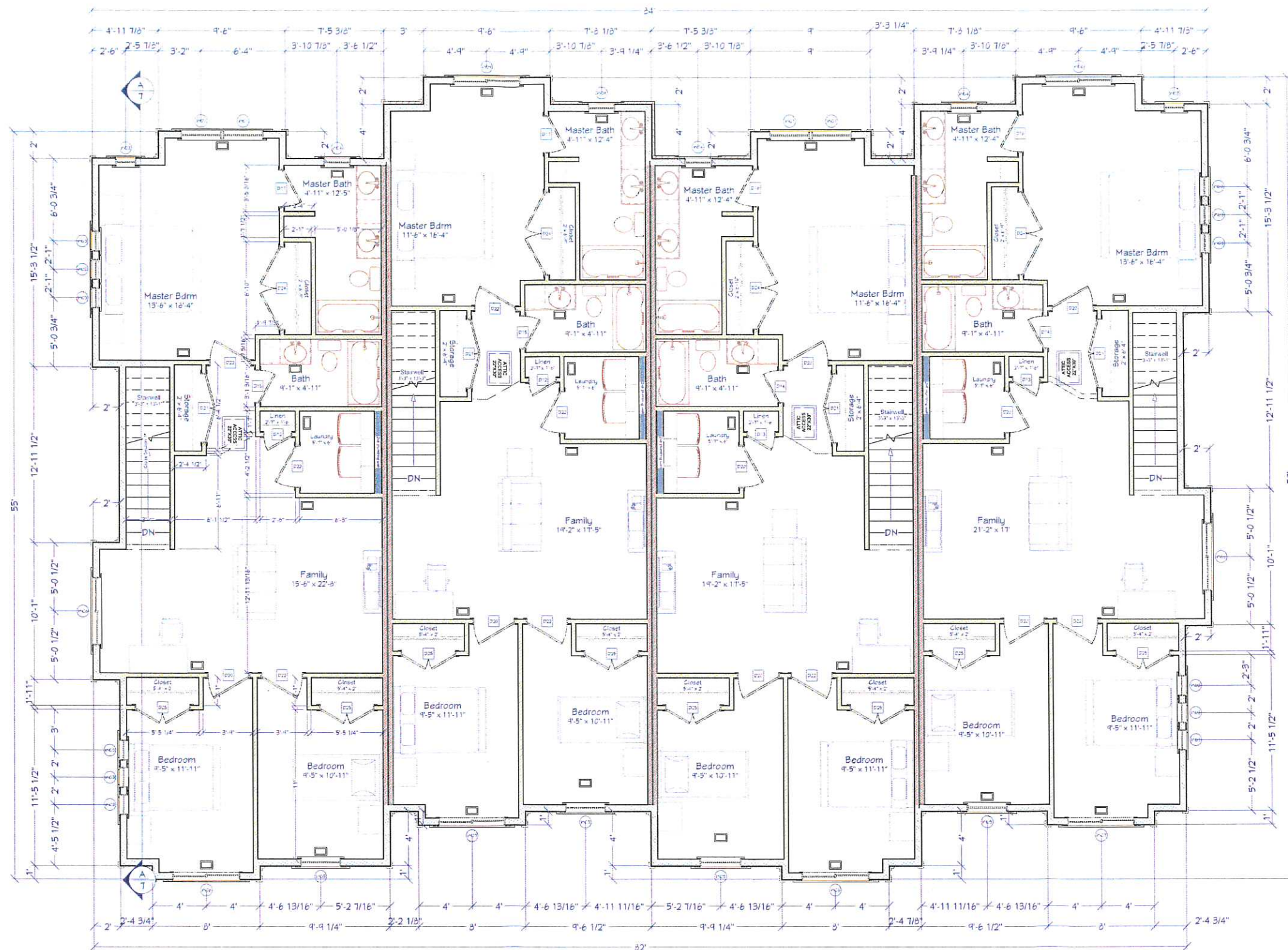
PROJECT FOR:
Cobblecreek Town Homes

TITLE:
Main floor plan

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1/9/2018

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DO NOT SCALE 11"X17" PRINTS
THEY ARE NOT TO SCALE



Each end unit 1,102 sq.ft.

Second floor total 4,372 sq.ft.

Each middle unit 1,084 sq.ft.

Scale: 1/4" = 1'

ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD INSULATION WITH A MINIMUM OF R-10, 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49

MASTER DOOR SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O	NUMBER
D01	4	1	16080	142"X46"X1 3/4"	144"X49"	D01
D02	2	1	1265 L IN	20"X80"X1 3/8" L IN	22"X82 1/2"	D02
D03	2	1	1868 R IN	20"X80"X1 3/8" R IN	22"X82 1/2"	D03
D04	2	1	2668 L IN	30"X80"X1 3/8" L IN	32"X82 1/2"	D04
D05	2	1	2668 R IN	30"X80"X1 3/8" R IN	32"X82 1/2"	D05
D06	2	1	2668 L EX	32"X80"X1 3/4" L EX	34"X83"	D06
D07	2	1	2668 R EX	32"X80"X1 3/4" R EX	34"X83"	D07
D08	2	1	3068 L EX	36"X80"X1 3/4" L EX	38"X85"	D08
D09	2	1	3068 R EX	36"X80"X1 3/4" R EX	38"X85"	D09
D10	4	1	3078	36"X42"	36"X42"	D10
D11	4	1	5468 L/R EX	(2) 32"X80"X1 3/8" L/R EX	66"X83"	D11
D12	2	2	2068 L IN	24"X80"X1 3/8" L IN	26"X82 1/2"	D12
D13	2	2	2068 R IN	24"X80"X1 3/8" R IN	26"X82 1/2"	D13
D14	2	2	2468 L IN	28"X80"X1 3/8" L IN	30"X82 1/2"	D14
D15	2	2	2468 R IN	28"X80"X1 3/8" R IN	30"X82 1/2"	D15
D16	2	2	2868 R IN	32"X80"X1 3/8" R IN	34"X82 1/2"	D16
D17	2	2	2868 L IN	32"X80"X1 3/8" L IN	34"X82 1/2"	D17
D20	3	2	3068 L IN	36"X80"X1 3/8" L IN	38"X82 1/2"	D20
D21	4	2	5068 L/R IN	(2) 30"X80"X1 3/8" L/R IN	62"X82 1/2"	D21
D22	8	2	3068 R IN	36"X80"X1 3/8" R IN	38"X82 1/2"	D22
D24	4	2	6068 L/R IN	(2) 36"X80"X1 3/8" L/R IN	74"X82 1/2"	D24
D25	8	2	4068 L/R IN	(2) 24"X80"X1 3/8" L/R IN	50"X82 1/2"	D25

MASTER WINDOW SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS	TEMPERED	QTY
W01	4	2	3060DH	36"X72"DH	YES		4
W02	4	1	5046RS	60"X54"RS			4
W03	14	2	1616FX	18"X16"FX			14
W04	4	2	2030DH	24"X36"DH			4
W05	4	2	3050SH	36"X60"SH	YES		4
W06	5	2	5050LS	60"X60"LS	YES		5
W07	2	2	5060LS	60"X72"LS	YES		2
W08	4	1	4046FX	48"X54"FX			4
W09	1	2	5046LS	60"X54"LS	YES		1

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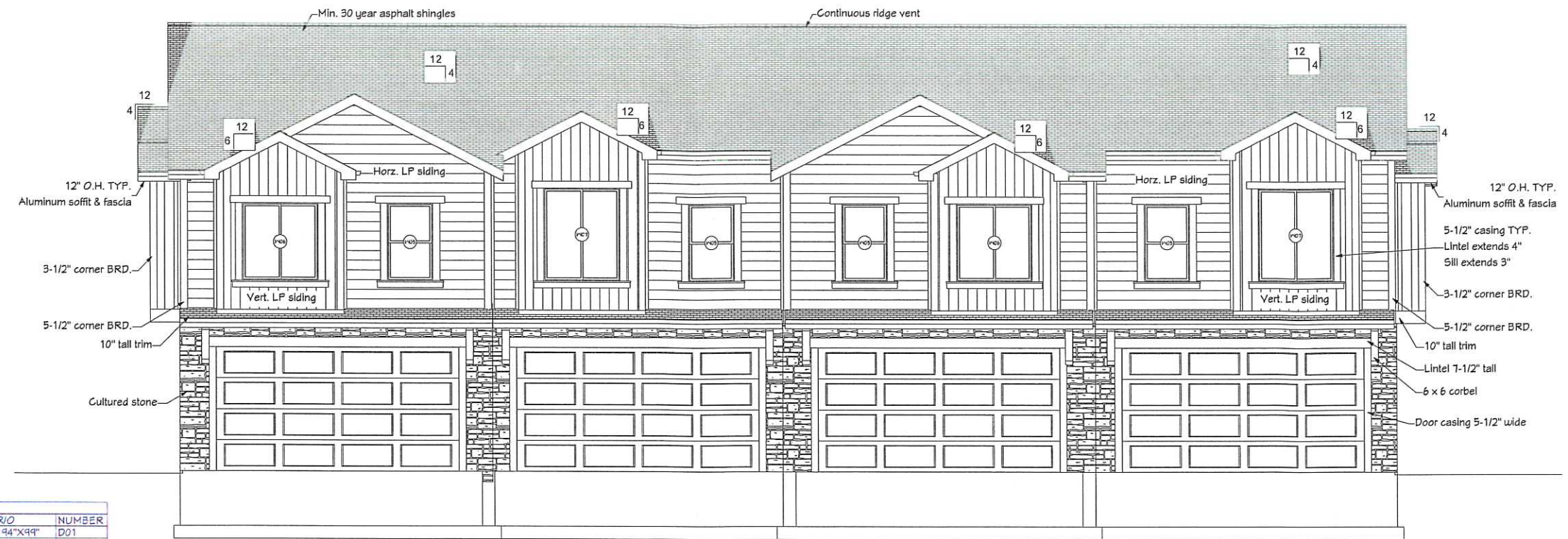
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 Cobblecreek Town Homes

TITLE:
 Second floor plan

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 1/9/2018

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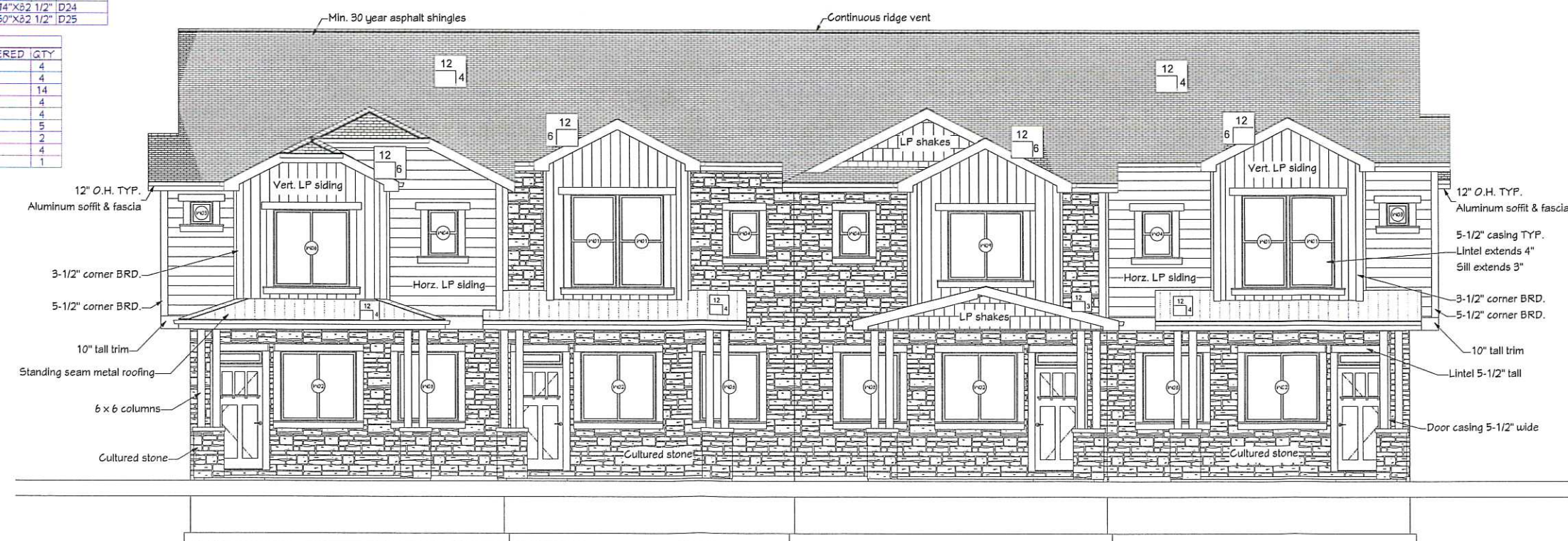
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 THEY ARE NOT TO SCALE



Rear elevation
Scale: 1/4" = 1'

MASTER DOOR SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O	NUMBER
D01	4	1	16030	142"x96"x1 3/4"	144"x99"	D01
D02	2	1	1868 L IN	20"x80"x1 3/8" L IN	22"x82 1/2"	D02
D03	2	1	1868 R IN	20"x80"x1 3/8" R IN	22"x82 1/2"	D03
D04	2	1	2668 L IN	30"x80"x1 3/8" L IN	32"x82 1/2"	D04
D05	2	1	2668 R IN	30"x80"x1 3/8" R IN	32"x82 1/2"	D05
D06	2	1	2668 L EX	32"x80"x1 3/4" L EX	34"x83"	D06
D07	2	1	2668 R EX	32"x80"x1 3/4" R EX	34"x83"	D07
D08	2	1	3068 L EX	36"x80"x1 3/4" L EX	38"x83"	D08
D09	2	1	3068 R EX	36"x80"x1 3/4" R EX	38"x83"	D09
D10	4	1	3078	36"x92"	36"x92"	D10
D11	4	1	5468 L/R EX	(2) 32"x80"x1 3/8" L/R EX	66"x83"	D11
D12	2	2	2068 L IN	24"x80"x1 3/8" L IN	26"x82 1/2"	D12
D13	2	2	2068 R IN	24"x80"x1 3/8" R IN	26"x82 1/2"	D13
D14	2	2	2468 L IN	28"x80"x1 3/8" L IN	30"x82 1/2"	D14
D15	2	2	2468 R IN	28"x80"x1 3/8" R IN	30"x82 1/2"	D15
D16	2	2	2668 L IN	32"x80"x1 3/8" L IN	34"x82 1/2"	D16
D17	2	2	2668 R IN	32"x80"x1 3/8" R IN	34"x82 1/2"	D17
D20	8	2	3068 L IN	36"x80"x1 3/8" L IN	38"x82 1/2"	D20
D21	4	2	5068 L/R IN	(2) 30"x80"x1 3/8" L/R IN	62"x82 1/2"	D21
D22	8	2	3068 R IN	36"x80"x1 3/8" R IN	38"x82 1/2"	D22
D24	4	2	6068 L/R IN	(2) 36"x80"x1 3/8" L/R IN	74"x82 1/2"	D24
D25	8	2	4068 L/R IN	(2) 24"x80"x1 3/8" L/R IN	50"x82 1/2"	D25

MASTER WINDOW SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS	TEMPERED	QTY
W01	4	2	3060DH	36"x12"DH	YES		4
W02	4	1	5046RS	60"x54"RS			4
W03	14	2	1616FX	18"x18"FX			14
W04	4	2	2030DH	24"x36"DH			4
W05	4	2	3050SH	36"x60"SH	YES		4
W06	5	2	5050LS	60"x60"LS	YES		5
W07	2	2	5060LS	60"x12"LS	YES		2
W08	4	1	4046FX	48"x54"FX			4
W09	1	2	5046LS	60"x54"LS	YES		1



Front elevation
Scale: 1/4" = 1'

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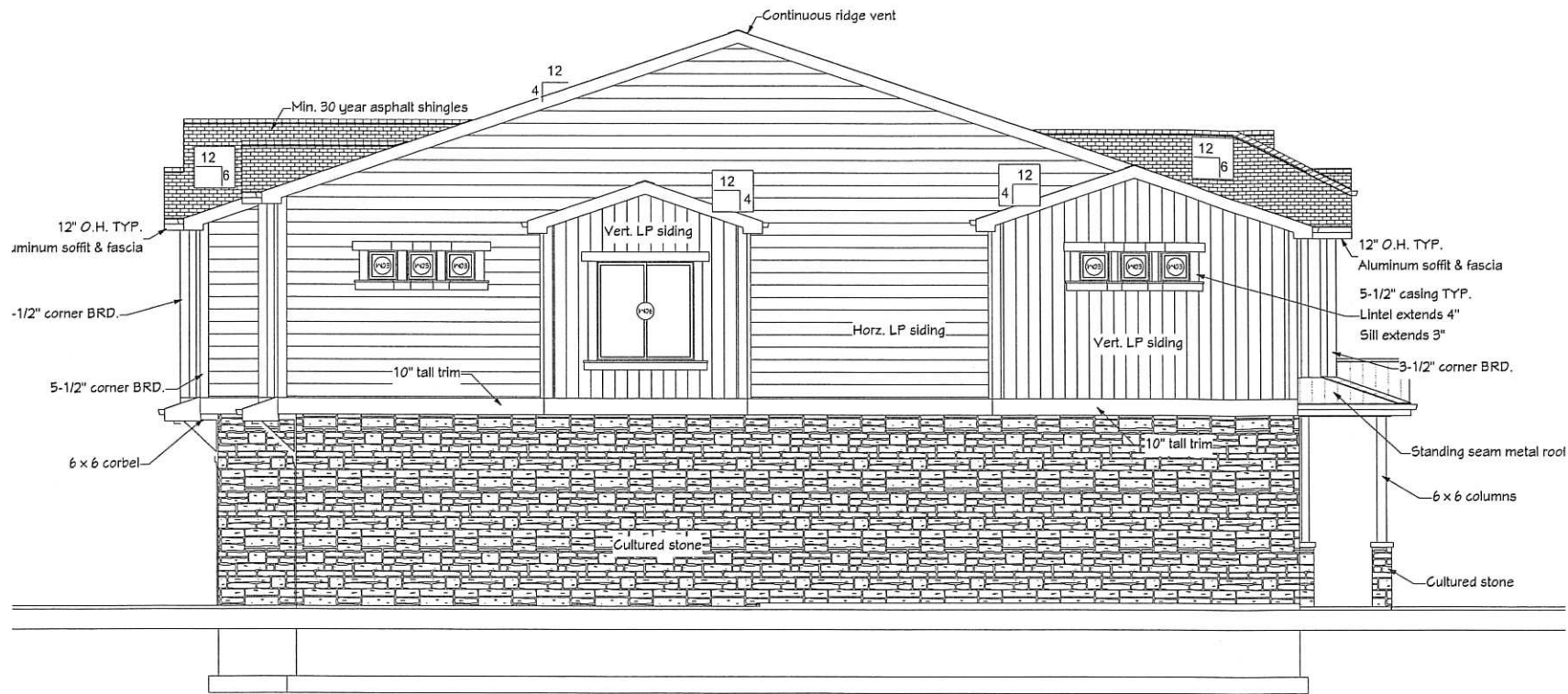
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Cobblecreek Town Homes

TITLE:
Elevations

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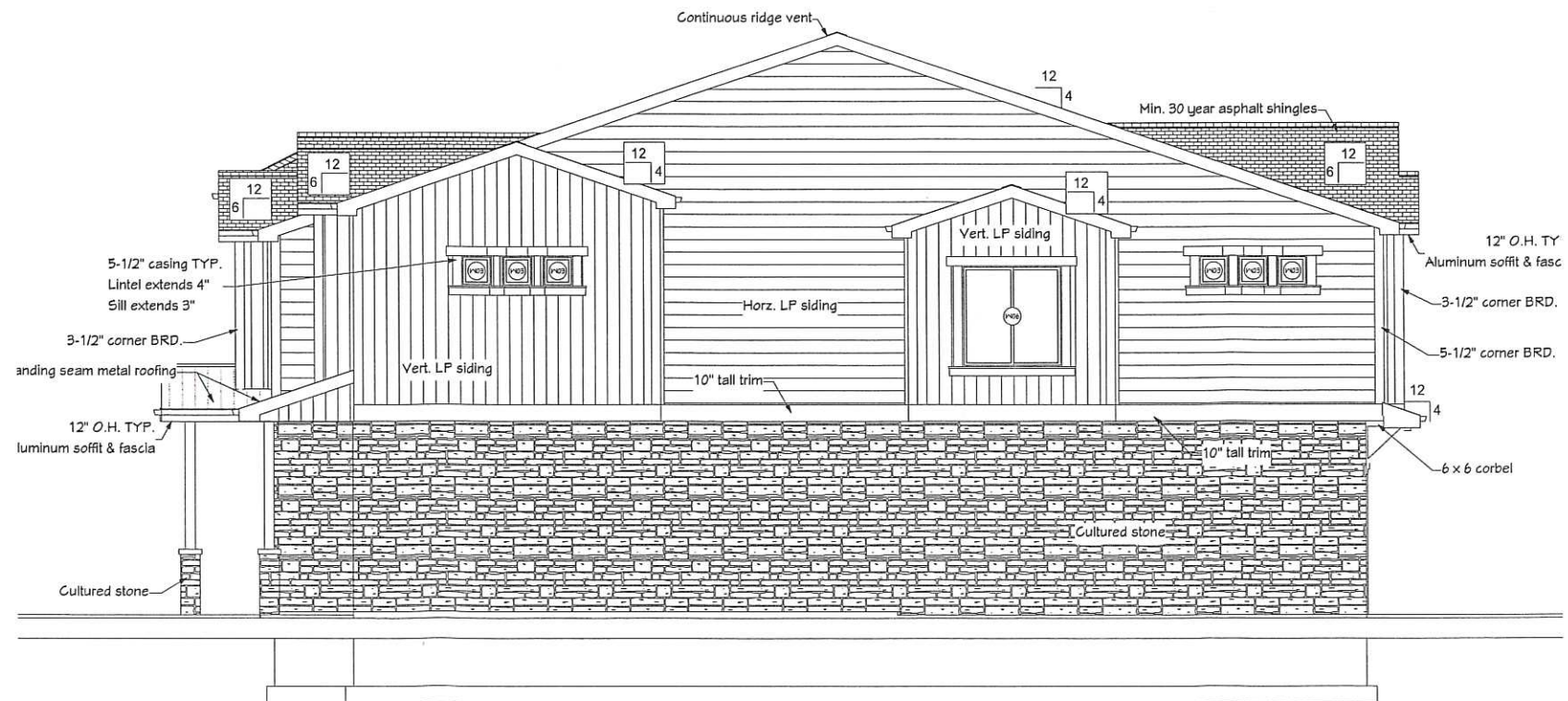
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THEY ARE NOT TO SCALE



Left elevation
Scale 1/4" = 1'

MASTER DOOR SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O	NUMBER
D01	4	1	16000	192"x96"x1 3/4"	194"x99"	D01
D02	2	1	1960 L IN	20"x80"x1 3/8" L IN	22"x82 1/2"	D02
D03	2	1	1960 R IN	20"x80"x1 3/8" R IN	22"x82 1/2"	D03
D04	2	1	2660 L IN	30"x80"x1 3/8" L IN	32"x82 1/2"	D04
D05	2	1	2660 R IN	30"x80"x1 3/8" R IN	32"x82 1/2"	D05
D06	2	1	2660 L EX	32"x80"x1 3/4" L EX	34"x83"	D06
D07	2	1	2660 R EX	32"x80"x1 3/4" R EX	34"x83"	D07
D08	2	1	3060 L EX	36"x80"x1 3/4" L EX	38"x83"	D08
D09	2	1	3060 R EX	36"x80"x1 3/4" R EX	38"x83"	D09
D10	4	1	3070	36"x92"	36"x92"	D10
D11	4	1	5460 L/R EX	(2) 32"x50"x1 3/8" L/R EX	66"x53"	D11
D12	2	2	2060 L IN	24"x80"x1 3/8" L IN	26"x82 1/2"	D12
D13	2	2	2060 R IN	24"x80"x1 3/8" R IN	26"x82 1/2"	D13
D14	2	2	2460 L IN	28"x80"x1 3/8" L IN	30"x82 1/2"	D14
D15	2	2	2460 R IN	28"x80"x1 3/8" R IN	30"x82 1/2"	D15
D16	2	2	2860 L IN	32"x80"x1 3/8" L IN	34"x82 1/2"	D16
D17	2	2	2860 R IN	32"x80"x1 3/8" R IN	34"x82 1/2"	D17
D20	0	2	3060 L IN	36"x80"x1 3/8" L IN	38"x82 1/2"	D20
D21	4	2	5060 L/R IN	(2) 30"x80"x1 3/8" L/R IN	62"x82 1/2"	D21
D22	0	2	3060 R IN	36"x80"x1 3/8" R IN	38"x82 1/2"	D22
D24	4	2	6060 L/R IN	(2) 36"x80"x1 3/8" L/R IN	74"x82 1/2"	D24
D25	0	2	4060 L/R IN	(2) 24"x50"x1 3/8" L/R IN	50"x82 1/2"	D25

MASTER WINDOW SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS	TEMPERED	QTY
W01	4	2	3060DH	36"x12"DH	YES	TEMPERED	4
W02	4	1	5046RS	60"x54"RS			4
W03	14	2	1616FX	18"x12"FX			14
W04	4	2	2030DH	24"x36"DH			4
W05	4	2	3050SH	36"x60"SH	YES		4
W06	5	2	5250LS	60"x60"LS	YES		5
W07	2	2	5060LS	60"x12"LS	YES		2
W08	4	1	4046FX	48"x54"FX			4
W09	1	2	5046LS	60"x54"LS	YES		1



Right elevation
Scale 1/4" = 1'

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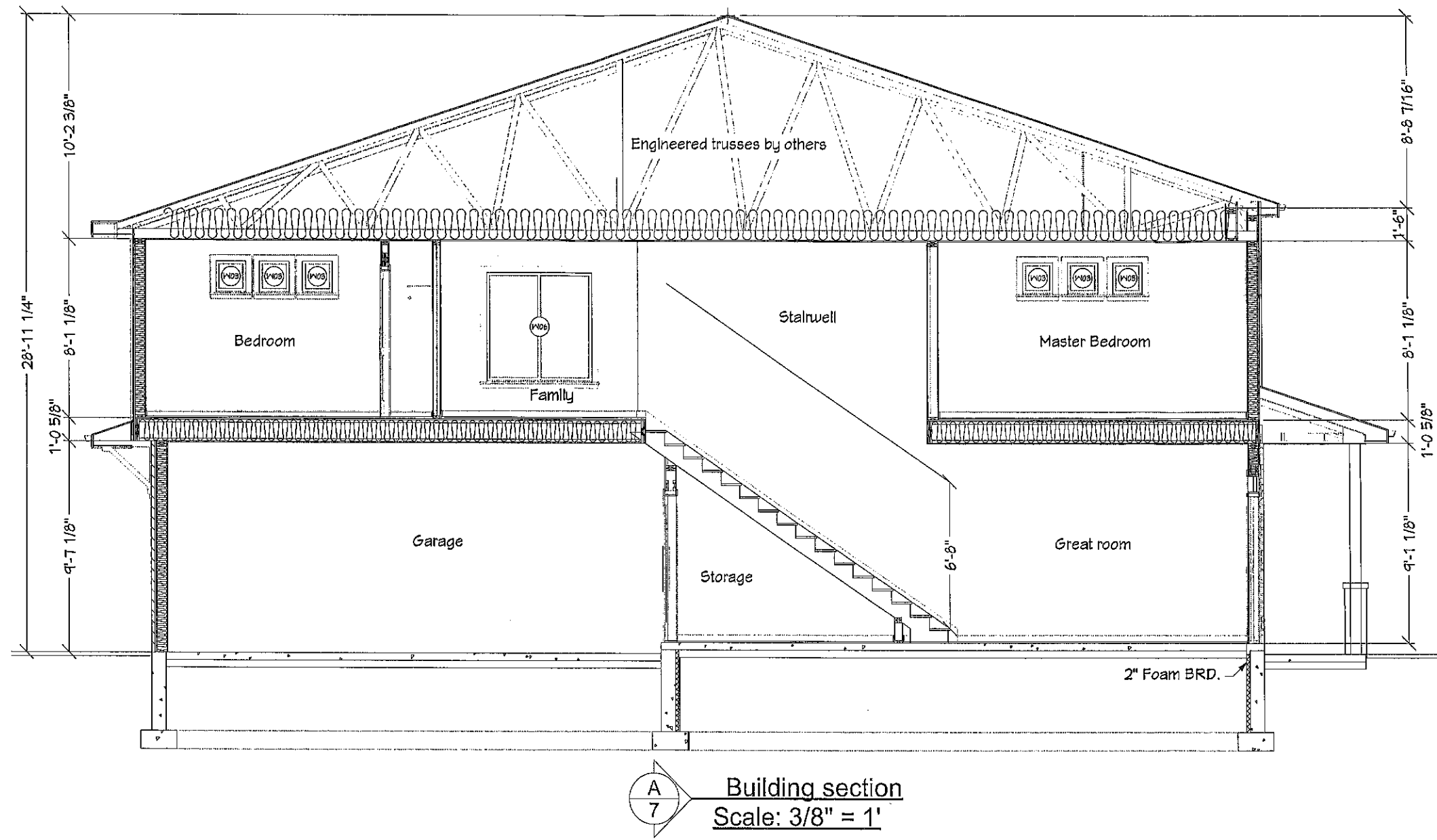


PROJECT FOR:
Cobblecreek Town Homes

TITLE:
Elevations

DATE:
1/9/2018

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A
7 Building section
Scale: 3/8" = 1"



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TITLE:
Building section

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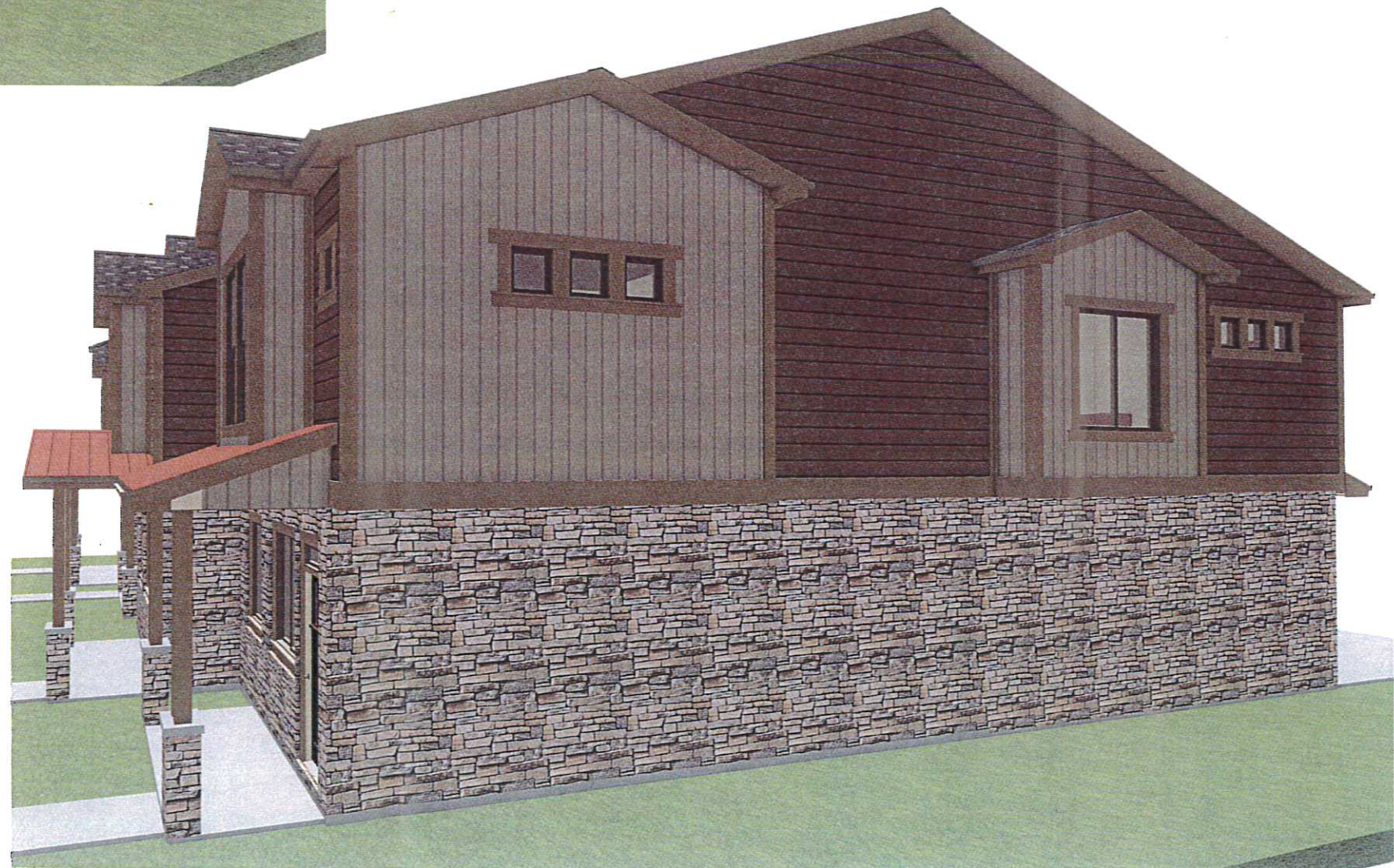
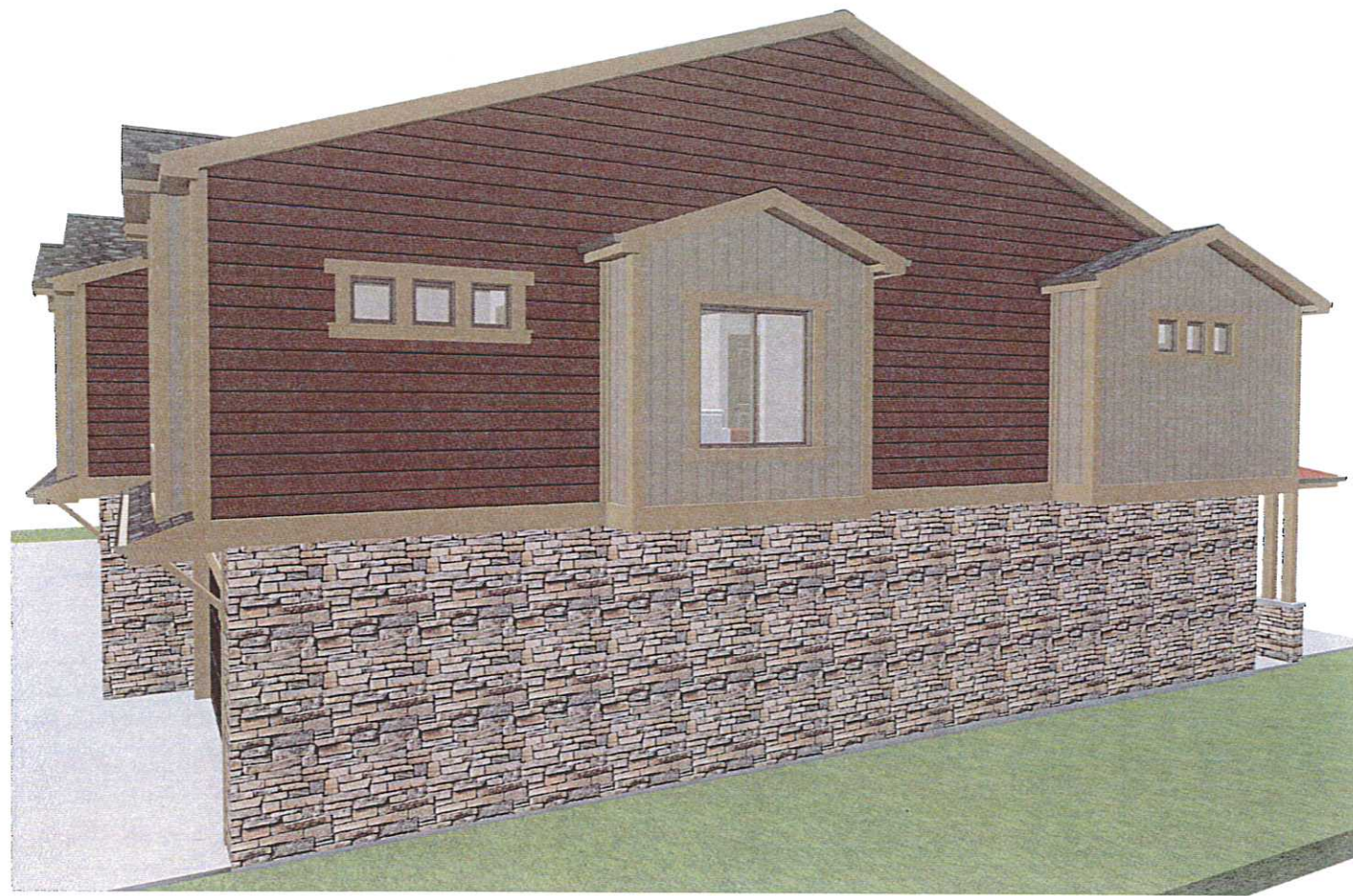
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DO NOT SCALE 11"X17" PRINTS
 THEY ARE NOT TO SCALE



DO NOT SCALE 11"X17" PRINTS
THEY ARE NOT TO SCALE

PROJECT FOR:

Cobblecreek Town Homes

TITLE:

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1/9/2018

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