

**FINDINGS OF FACT-NOVEMBER 7, 2013
CITY COUNCIL
SUNRAY PROPERTIES, LLC
CARSON PLUMBING AND MECHANICAL
SITE PLAN
~20 WEST 300 NORTH**

ZONING: M-1 OK-

UTILITIES: Available at site.

STORMWATER: Install under parking area

LIGHTING: Proposing limited outdoor lighting. Lights on the building over the doors.

PARKING: OK- Parking as shown.

LANDSCAPPING: In front of the building; bark, various rock and stone, shrubs, and trees.

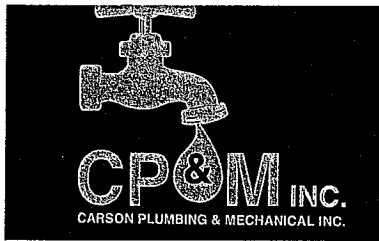
FENCING: No outside storage planned. Any outside storage in the future will require it.

SIGNAGE: None planned at this time.

DUMPSTER: Placed North of the building.

NOTES:

They will use this area for office and storage area. It is not planned to have retail business. They plan to lease the northeast part of the building to another business. The plans have been reviewed by city staff and they are recommending approval subject to building and fire official reviews at the building permit stage. The Planning Commission recommended approval as proposed.



P.O. Box 532 • Logan, Utah 84323-0532
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October 16, 2013

Hyrum City Corporation
83 West Main Street
Hyrum, Utah 84319

RE: Sunray Properties LLC
10 West 300 North

To Whom It May Concern:

Carson Plumbing & Mechanical Inc., intends to occupy the property located at 10 West 300 North in Hyrum City that is owned by Sunray Properties LLC. Carson Plumbing & Mechanical Inc., will utilize the property to operate a commercial plumbing and mechanical contracting business and for light manufacturing. A portion of the building is intended to be leased for storage or other commercial use.

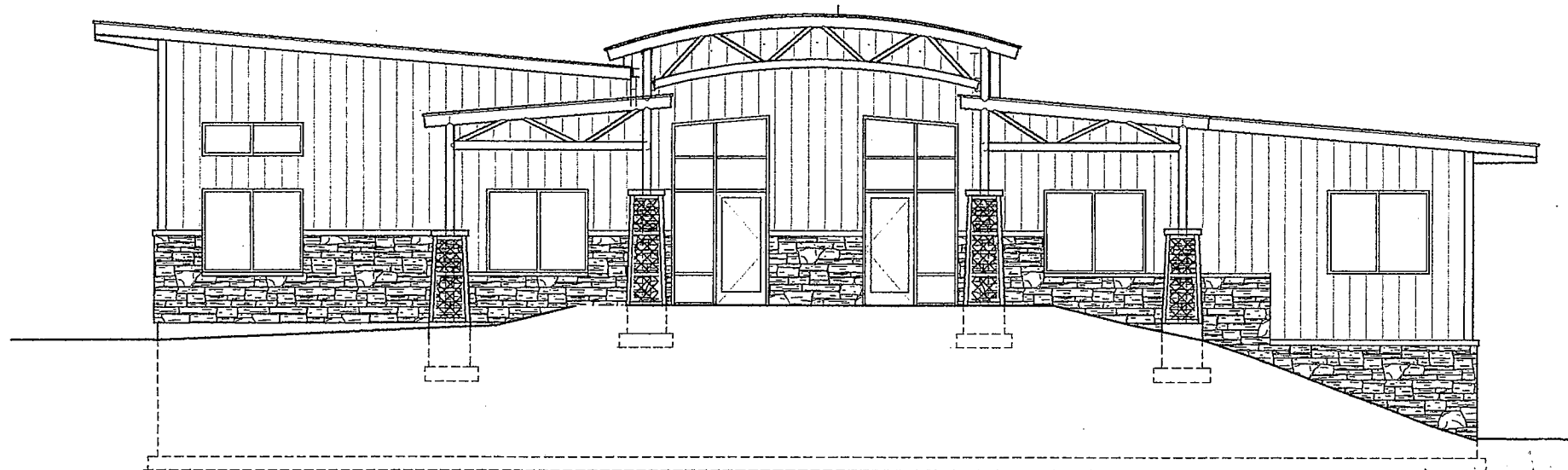
In discussions with Hyrum City, Sunray Properties will extend the curb & gutter past the entrance to Keystone Cabinets' west driveway to prevent runoff from entering Keystone Cabinets' property.

Sincerely,

Heather Godfrey
President
Carson Plumbing & Mechanical Inc.

GENERAL NOTES

SUNRAY PROPERTIES OFFICE / WAREHOUSE



architect
DON KNIGHTON

171 WEST 1100 NORTH
PARISHVILLE, UT 84404
(801) 783-1171
(408) 770-8683 CELL

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**SUNRAY PROPERTIES LLC
OFFICE/WAREHOUSE
HYRUM, UTAH**

DRAWN BY: DK
ISSUE DATE: 9-16-2013

COVER DRAWING

G-101

USE B / P1 OR S1 OR S2 (LEASE SPACE)

REQUIRED MINIMUM SD

BUILDING USE - REPOSED - SINGLE LEVEL:

P1 - WAREHOUSE
NET BUILDING AREA 6,300

BUILDING USE - REPOSED - MEZZANINE:

B - OFFICE
NET BUILDING AREA 2,400

CONSTRUCTION TYPE

BASED ALLOWABLE

AREA INCREASE - FRAMING

AREA INCREASE - STRUCTURAL

AREA INCREASE - MULTIPLE FLOORS

TOTAL ALLOWABLE AREA

AREA INCREASE - FRAMING

NUMBER OF ENGINE BUILDING

BLDG FORMER THAN FLOORING

ON PUBLIC WAY OR OPEN SPACE

NUMBER A 8 FT OPEN MEZZANINE

NUMBER OF PUBLIC WAY OR

OPEN SPACE

AREA INCREASE FACTOR ONE TO FIVE RANGE

BUILDING USE

THIS BUILDING WILL BE USED FOR OFFICE SPACE AND WAREHOUSE

FIVE PERFORMANCE FACTORS FOR BUILDING CLASSIFICATION

ELEMENT	MINIMUM	MAXIMUM
STRUCTURAL FRAMING	NONCOMBUSTIBLE	0 HOUR
RESISTOR BEARING WALLS	NONCOMBUSTIBLE	0 HOUR
RESISTOR NONBEARING WALLS	NONCOMBUSTIBLE	0 HOUR
SOFT STORY FLOORING	NONCOMBUSTIBLE	0 HOUR
FLOORING ASSEMBLY	NONCOMBUSTIBLE	0 HOUR
ROOFING ASSEMBLY	NONCOMBUSTIBLE	0 HOUR
SPRINK	NONCOMBUSTIBLE	NONE
OCCUPANCY	NONCOMBUSTIBLE	2 HOUR

FLOOR	OCCUPANCY	MIN. HEIGHT
MAIN FLOOR	2	1
UPPER MEZZ	7	1
TOTAL	2	1

GENERAL

- G-000 COVER DRAWING
- G-001 SPECIFICATIONS
- G-002 SPECIFICATIONS
- G-003 SPECIFICATIONS

ONE

- O-100 SITE PLAN
- O-101 CONCRETE AND GRADING PLAN
- O-102 EROSION CONTROL PLAN

STRUCTURAL

- S-1.0 GENERAL CONSTRUCTION NOTES
- S-1.1 FOUNDATION AND FOOTING PLAN
- S-1.2 DETAILS
- S-1.3 DETAILS
- S-1.4 MECHANICAL FRAMING PLAN
- S-1.5 FLOOR FRAMING DETAILS
- S-1.6 SHIRT

MECHANICAL

- M-1.0 MECHANICAL GENERAL INFORMATION
- M-1.1 MECHANICAL SPECIFICATIONS
- M-1.2 MECHANICAL PLAN
- M-1.3 MECHANICAL PLAN
- M-1.4 MECHANICAL PLAN
- M-1.5 MECHANICAL PLAN
- M-1.6 MECHANICAL PLAN
- M-1.7 MECHANICAL PLAN
- M-1.8 MECHANICAL PLAN
- M-1.9 MECHANICAL PLAN
- M-1.10 MECHANICAL PLAN

PLUMBING

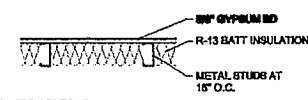
- P-1.0 PLUMBING GENERAL INFORMATION
- P-1.1 PLUMBING SPECIFICATIONS
- P-1.2 PLUMBING PLAN
- P-1.3 PLUMBING PLAN
- P-1.4 PLUMBING PLAN

ELECTRICAL

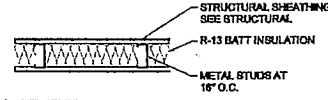
- E-1.0 ELECTRICAL GENERAL INFORMATION
- E-1.1 ELECTRICAL SPECIFICATIONS
- E-1.2 ELECTRICAL PLAN
- E-1.3 ELECTRICAL PLAN
- E-1.4 ELECTRICAL PLAN

A3 CODE ANALYSIS
SCALE: NTS

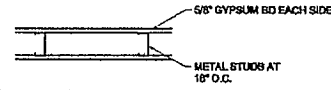
A5 INDEX TO DRAWINGS
SCALE: NTS



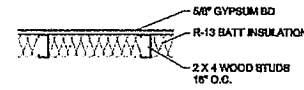
WALL TYPE 1



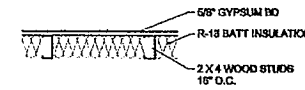
WALL TYPE 2



WALL TYPE 3



WALL TYPE 4



WALL TYPE 5

WALL TYPE GENERAL NOTES:

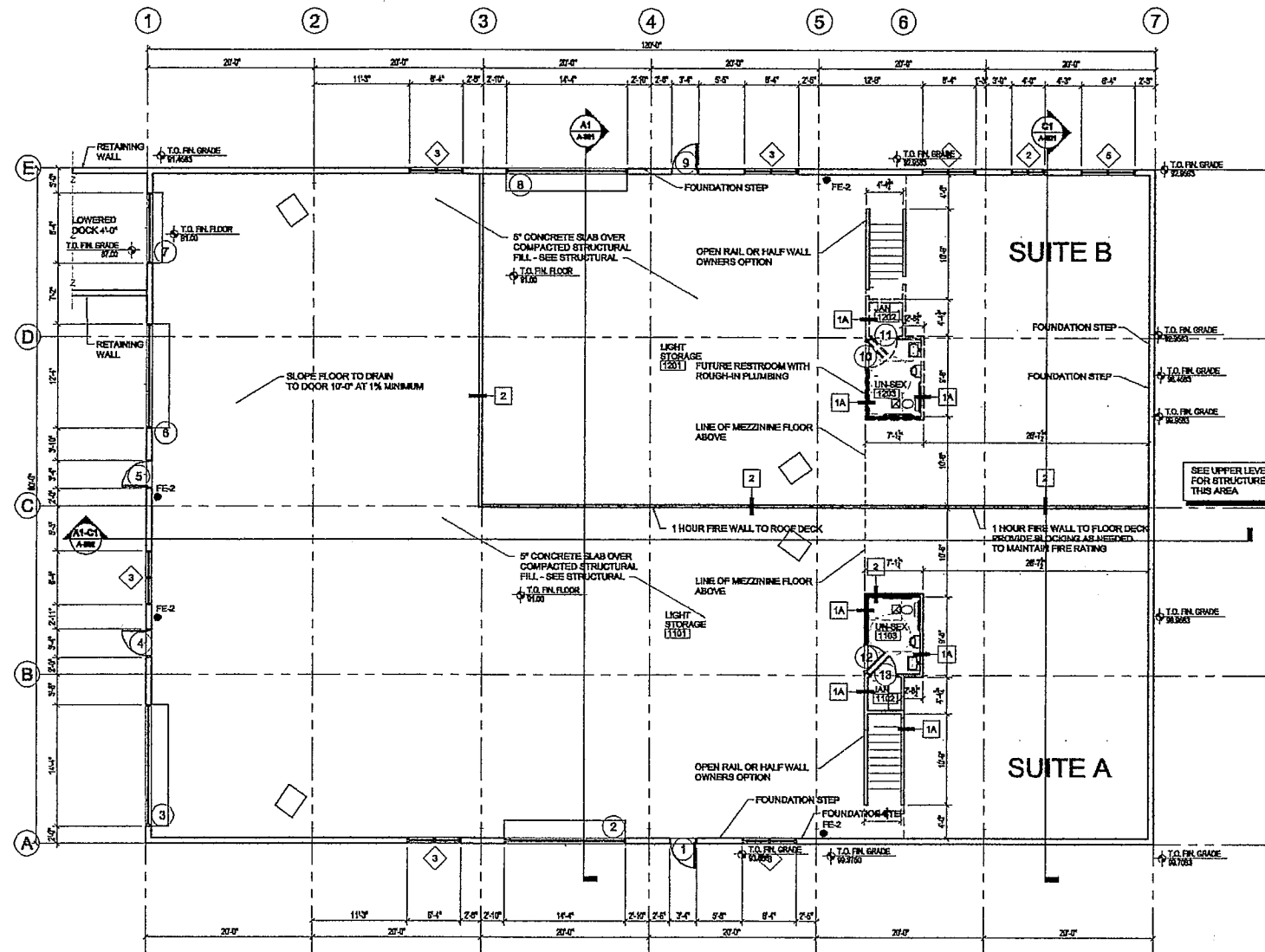
1. PROVIDE FIRE BLOCKING IN ALL WALL CAVITIES GREATER THAN 10' VERTICAL
2. PROVIDE MOISTURE RESISTANT (GREEN BOARD) GYPSUM BOARD IN ALL WET LOCATIONS
3. ALL STRUCTURAL COLUMNS IN FINISHED SPACES TO BE WRAPPED WITH WALL TYPE 1 UNLESS NOTED OTHERWISE
4. UNDERSIDE OF ALL STAIRS TO RECEIVE (2) LAYERS 5/8" FIRE CODE GYPSUM BOARD
5. PROVIDE CEMENT BACKER BOARD AT ALL LOCATION TO RECEIVE CERAMIC TILE FINISH
6. PROVIDE BLOCKING FOR ATTACHMENT OF ALL FIXTURES, GRAB BARS AND DISPENSERS
7. ALL NON BEARING WALLS TO EXTEND TO UNDERSIDE OF FLOOR FRAMING - PROVIDE DEFLECTION TRACKS
8. ALL 1 HOUR RATED WALLS TO EXTEND TO BOTTOM OF ROOF DECK OR FLOOR DECK

GENERAL NOTES

1. ALL DIMENSIONS TO EXTERIOR ARE TO FACE OF FOUNDATION UNLESS NOTED OTHERWISE
2. ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE
3. ALL FINISHED GRADE ARE APPROXIMATE. SEE GRADEING PLAN FOR FINAL GRADES AND STRUCTURAL PLANS FOR FOUNDATION STEPS.
4. ALL GLASS AND GLAZING SHALL COMPLY WITH SECTION 2406.4 OF 2009 INTERNATIONAL BUILDING CODE.
5. PROVIDE 2 X BLOCKING BEHIND ALL BATH ROOM ACCESSORIES, COORDINATE WITH RECESSED FIXTURES.
6. PROVIDE ADDRESS NUMBERS AS INDICATED IF NOT INDICATED PROVIDE NUMBERS READILY VISIBLE (6" MIN) FROM THE STREET OF CONTRASTING COLOR TO THE SURFACE APPLIED TO.
7. PORTABLE FIRE EXTINGUISHERS SHALL BE PLACED THROUGHOUT THE BUILDING AS SHOWN AND SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 909 OF THE 2009 INTERNATIONAL FIRE CODE. COORDINATE THE LOCATIONS OF ALL EXTINGUISHERS WITH THE LOCAL FIRE MARSHAL PRIOR TO PLACEMENT.
8. RESTROOMS SHALL HAVE A HARD WASHABLE SURFACE FOR A MINIMUM OF 4'-0" ABOVE FINISHED FLOOR. THE SURFACE SHALL EXTEND AS SHOWN ON DRAWINGS OR A MINIMUM OF 6'-0" ON REAR AND ADJOINING WALLS.
9. GENERAL CONTRACTOR TO PROVIDE A KEY BOX THAT MEETS THE REQUIREMENT OF HYRUM CITY FIRE DEPARTMENT FOR KEY BOXES. BOX TO BE MOUNTED 5'-0" ABOVE FINISHED GRADE AND ADJACENT TO MAIN ENTRANCE - SEE PLAN FOR LOCATION.

D1 WALL TYPES

SCALE: 1/4" = 1'-0"



- SYMBOLS AND NOTES**
- FE-1 SEMI RECESSED FIRE EXTINGUISHER CABINET AND EXTINGUISHER - 10 LBS ABC
 - FE-2 FIRE EXTINGUISHER ON WALL HOOK 10 LBS ABC
 - 1A FOR WALL TYPES SEE DRAWING A-101

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SUNRAY PROPERTIES LLC
OFFICE/WAREHOUSE
HYRUM, UTAH

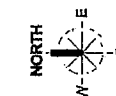
DRAWN BY: DK
ISSUE DATE: 8-16-2018
REVISION DATE:

MAIN LEVEL FLOOR PLAN

A-101

A1 MAIN LEVEL - FLOOR PLAN

SCALE: 1/4" = 1'-0"



OWNER OPTION 1

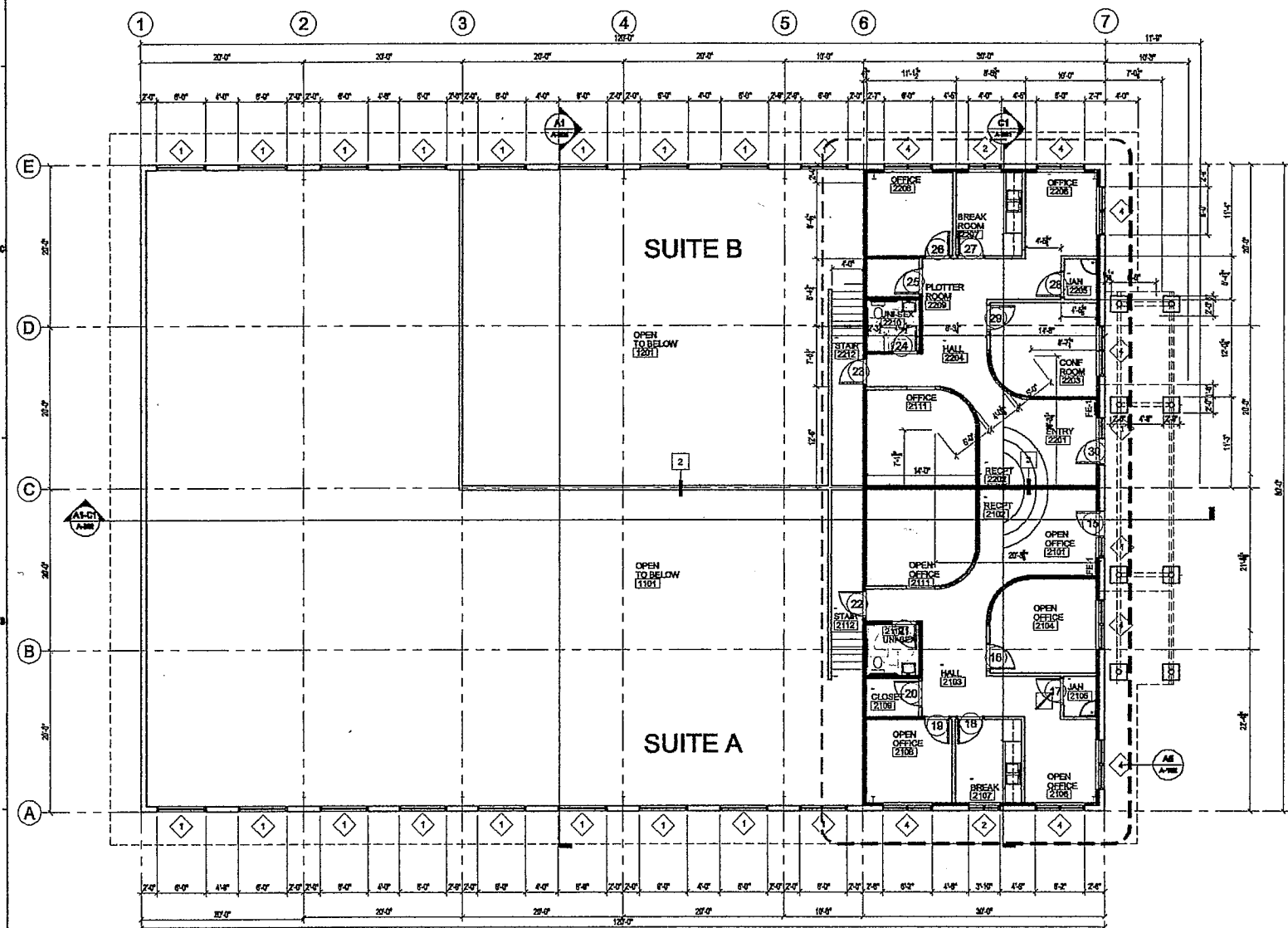
SUITE A AND SUITE B IS TO BE BUILT OUT AND FINISHED. THIS IS WILL INCLUDE ALL FINISHES AND MATERIAL FOR A COMPLETE PROJECT AS SHOWN.

TO PROVIDE ALL MATERIALS INCLUDING BUT NOT LIMITED TO, FRAMING, GYPSUM BOARD, ACOUSTICAL CEILINGS, ELECTRICAL DEVICES, ELECTRICAL FIXTURES, FINISHES FOR A COMPLETE FINISHED PROJECT.

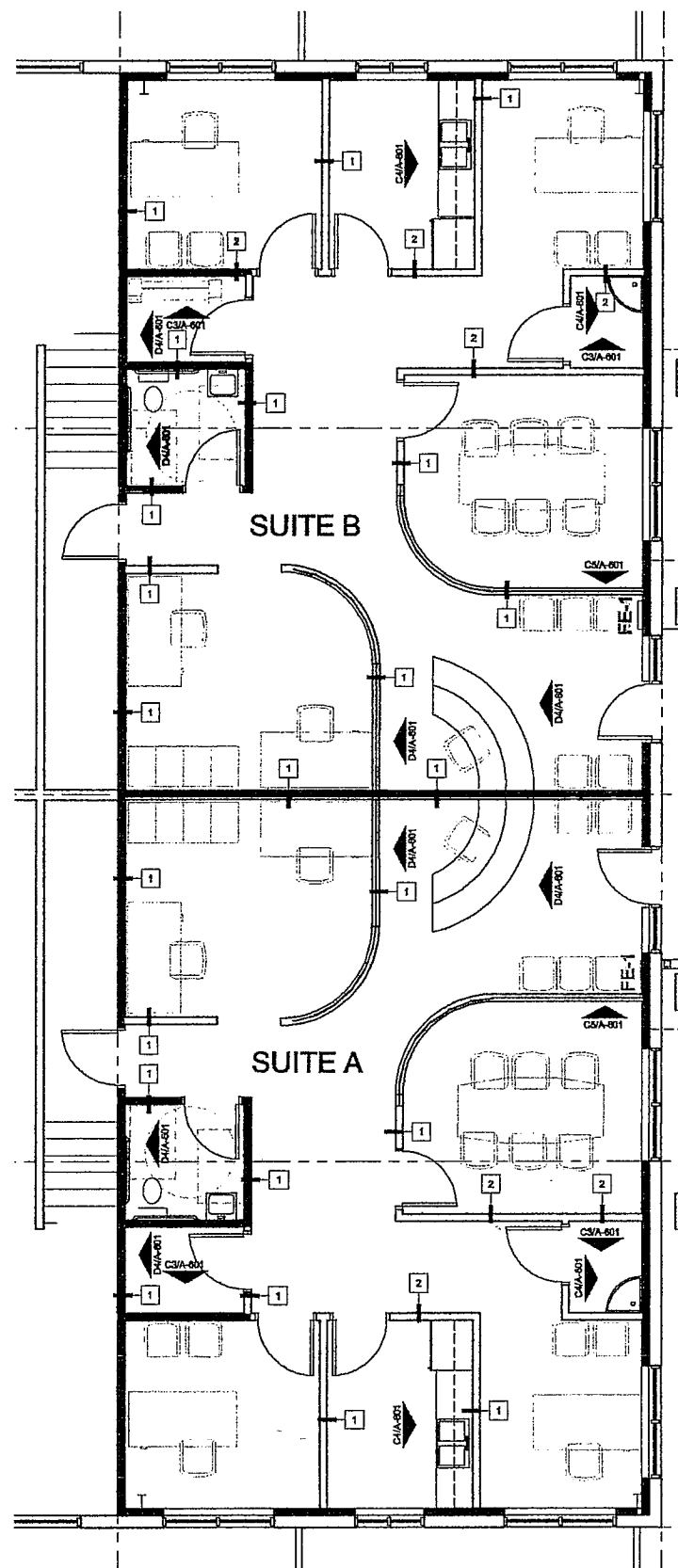
OWNER OPTION 2

SUITE A IS TO BE BUILT OUT AND FINISHED AND SUITE B IS AN EMPTY SHELL SPACE FOR FUTURE GROWTH.

IF THE OWNER ELECTS TO NOT BUILD SUITE B THEN THE CONTRACTOR IS TO PROVIDE ONLY A CONCRETE SLAB ON DECK FOR SUITE B AND THE SEPARATION WALL BETWEEN WAREHOUSE AND OFFICE AREA. GYPSUM ON THE INTERIOR OF SEPARATION WALL IN THE OFFICE SPACE WILL BE FIRE TAPED ONLY. NO FINISHES WILL BE APPLIED AT THIS TIME.



A1 MEZZANINE LEVEL - FLOOR PLAN
SCALE: 1/8" = 1'-0"



A5 ENLARGED MEZZANINE PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ALL DIMENSIONS TO EXTERIOR ARE TO FACE OF FOUNDATION UNLESS NOTED OTHERWISE.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
- ALL FINISHED GRADE ARE APPROXIMATE SEE GRADING PLAN FOR FINAL GRADES AND STRUCTURAL PLANS FOR FOUNDATION STEPS.
- ALL GLASS AND GLAZING SHALL COMPLY WITH SECTION 2406.4 OF 2009 INTERNATIONAL BUILDING CODE.
- PROVIDE 2 X BLOCKING BEHIND ALL BATH ROOM ACCESSORIES, COORDINATE WITH RECESSED FIXTURES.
- PROVIDE ADDRESS NUMBERS AS INDICATED IF NOT INDICATED PROVIDE NUMBERS READILY VISIBLE (6" MIN) FROM THE STREET OF CONTRACTING COLOR TO THE SURFACE APPLIED TO.
- PORTABLE FIRE EXTINGUISHERS SHALL BE PLACED THROUGHOUT THE BUILDING AS SHOWN AND SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 909 OF THE 2009 INTERNATIONAL FIRE CODE. COORDINATE THE LOCATIONS OF ALL EXTINGUISHERS WITH THE LOCAL FIRE MARSHAL PRIOR TO PLACEMENT.
- RESTROOMS SHALL HAVE A HARD WASHABLE SURFACE FOR A MINIMUM OF 4'-0" ABOVE FINISHED FLOOR. THE SURFACE SHALL EXTEND AS SHOWN ON DRAWINGS OR A MINIMUM OF 6'-0" ON REAR AND ADJOINING WALLS.
- GENERAL CONTRACTOR TO PROVIDE A KEY BOX THAT MEETS THE REQUIREMENT OF HYRUM CITY FIRE DEPARTMENT FOR KEY BOXES. BOX TO BE MOUNTED 5'-0" ABOVE FINISHED GRADE AND ADJACENT TO MAIN ENTRANCE - SEE PLAN FOR LOCATION.

SYMBOLS AND NOTES

FE-1 SEMI RECESSED FIRE EXTINGUISHER CABINET AND EXTINGUISHER - 10 LBS ABC

FE-2 FIRE EXTINGUISHER ON WALL HOOK 10 LBS ABC

1A FOR WALL TYPES SEE DRAWING A-101

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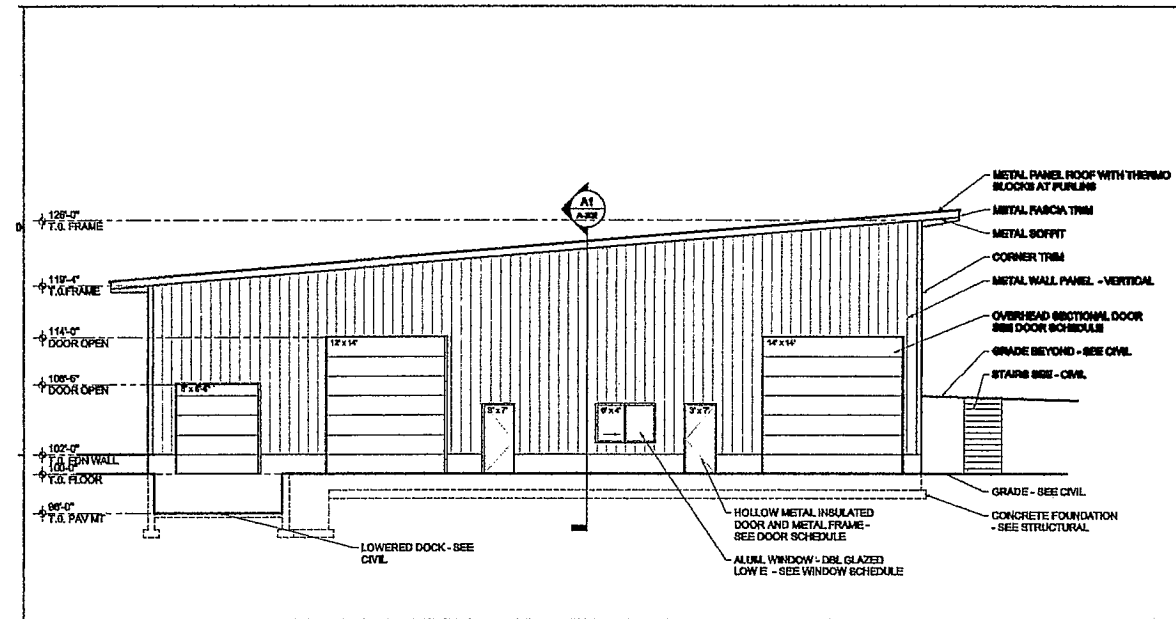
SUNRAY PROPERTIES LLC
OFFICE/WAREHOUSE
HYRUM, UTAH

DRAWN BY: DK
ISSUE DATE: 9-18-2015
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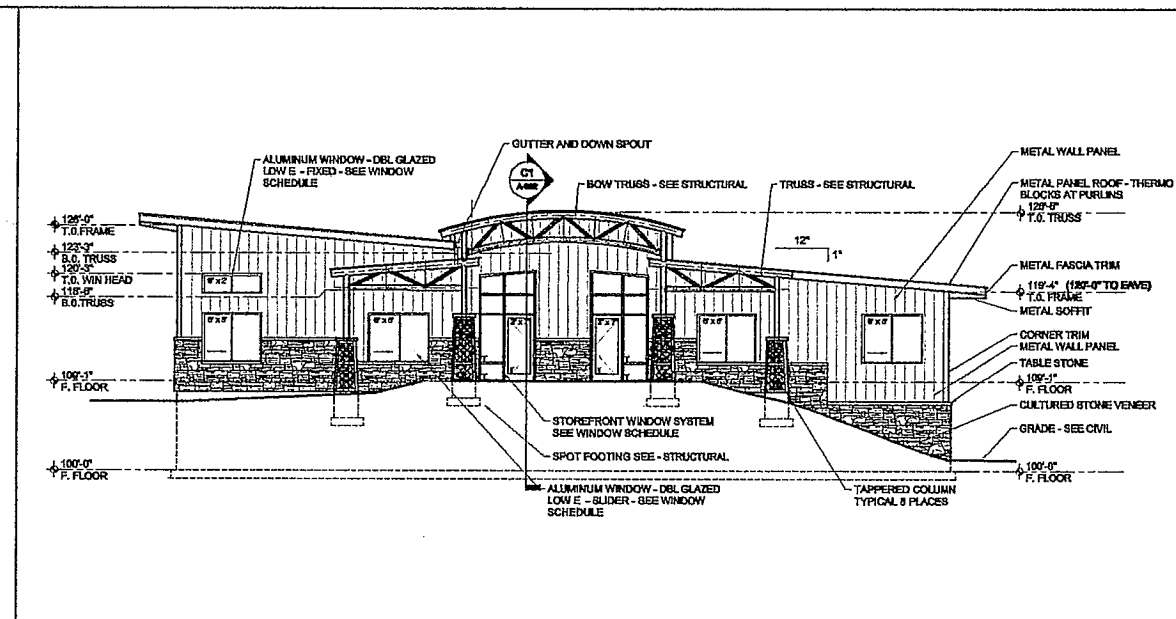
UPPER LEVEL FLOOR PLAN

A-102

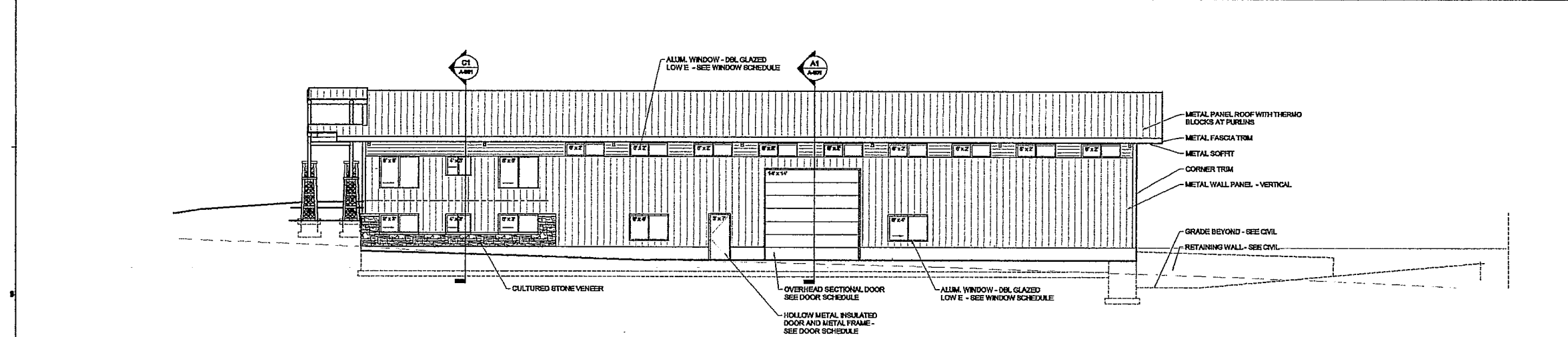
GENERAL NOTES



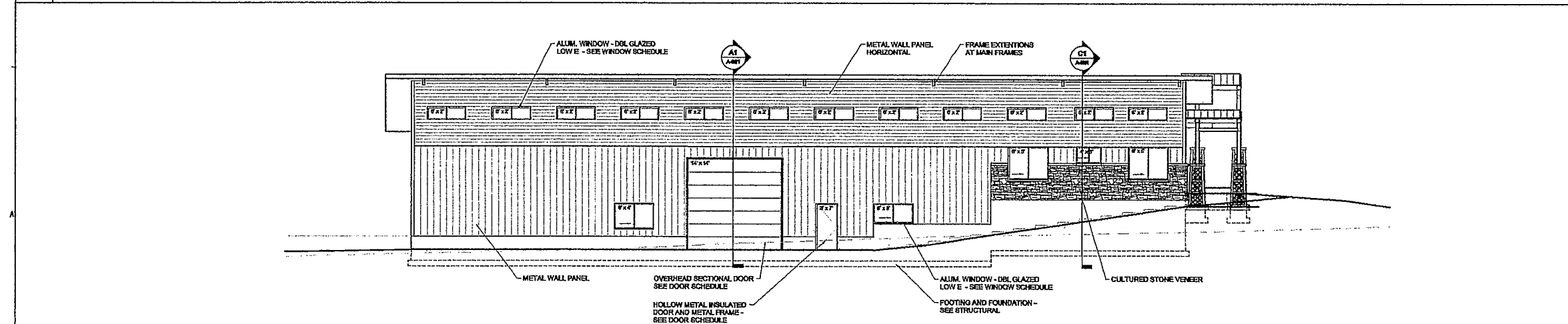
C1 NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



C4 SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



D1 EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



A1 WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

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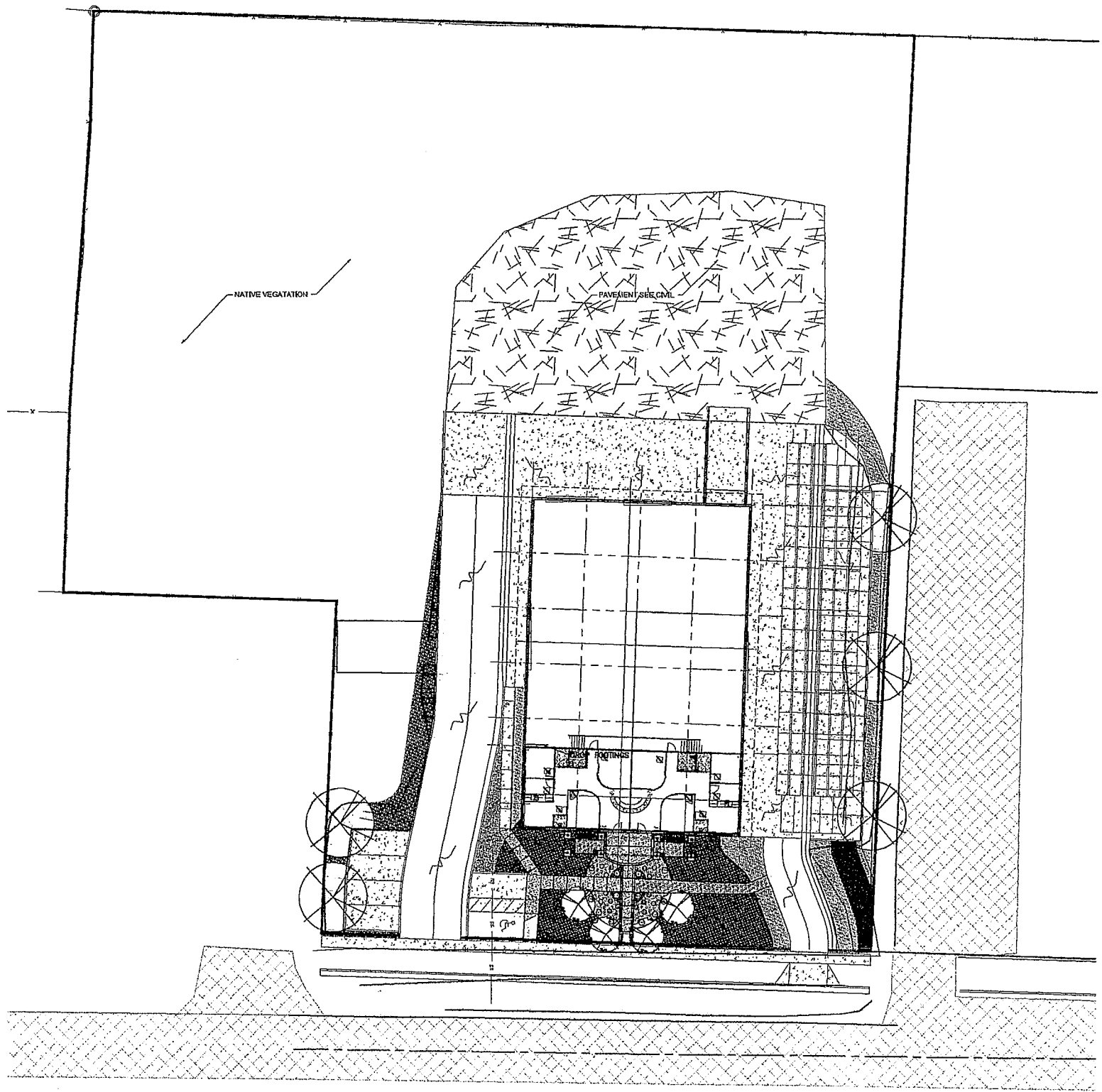
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PROPERTIES LLC
OFFICE/WAREHOUSE
HYRUM, UTAH

DRAWN BY: DK
ISSUE DATE: 4-16-2018
REVISED DATE:

EXTERIOR ELEVATIONS

A-201






GENERAL NOTES

1. PROVIDE A 6" STEEL EDGING AROUND PLANTERS
2. PROVIDE DRIP IRRIGATION TO ALL PLANTS

LEGEND:



GROUND COVER:

-  SHREDDED BARK - COLOR AND TYPE SELECTED BY OWNER
-  2" STONE OVER WEED BARRIER OVER NATIVE SOIL
-  6" TO 8" COBBLE STONE OVER WEED BARRIER OVER NATIVE SOIL

PERENNIALS:

- ASTER NOVA-BELGII - 24" TALL 36" WIDE - DEEP PURPLISH BLUE BLOOMS 1" - 1 GALLON - SPACED AS SHOWN
- CORNUS - STOLONIFERA - RED TWIG DOGWOOD - 1 GALLON - SPACED AS SHOWN
- RUOBECKIA, HIRTA - BLACK-EYED SUSAN - 1 GALLON - SPACED AS SHOWN
- MISCANTHUS SINENSIS EULALIA, JAPANESE SILVER GRASS - ADAGIO 2-3 FEET TALL AND WIDE PLUMES RISE TO 4-5 FEET. PINK - 1 GALLON - SPACE AS SHOWN
- MOLINA CADRUELA, ARUNDINACEA - MOOR GRASS - CLUMPS 2-3 FEET TALL AND WIDE 7-8 FOOT PLUMES - 1 GALLON - SPACE AS SHOWN

TREES:

-  ORNAMENTAL TREE 2" CAL. - AS SHOWN FLOWERING PEAR
-  TREE 2" CAL. - AS SHOWN LINDEN

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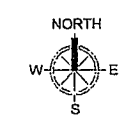
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PROPERTIES LLC
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ISSUE DATE: 10-15-2013

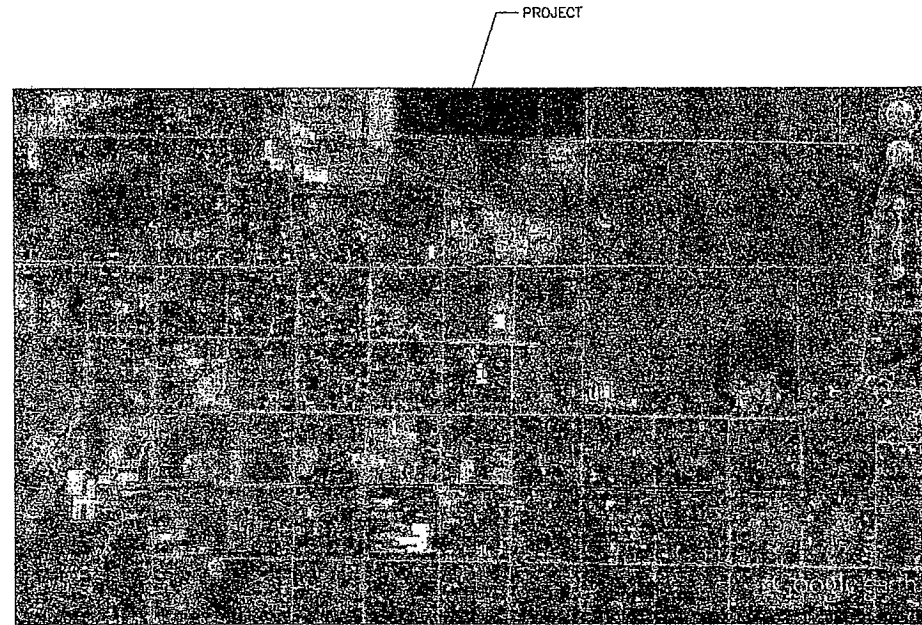
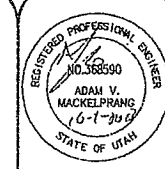
**PERFORMANCE
LANDSCAPE PLAN**

L-101



RANDY GODFREY

PART OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASELINE AND MERIDIAN
300 NORTH, 40 WEST, HYRUM, UTAH
INDEX SHEET



VICINITY MAP

SHEET INDEX	
SHEET NO.	SHEET DESCRIPTION
1	INDEX SHEET
2	SITE PLAN
3	SITE PLAN DETAILS
4	UTILITY/GRADING PLAN
5	DRAINAGE PLAN

OWNER/DEVELOPER
RANDY GODFREY

CIVIL ENGINEER
ALLIANCE CONSULTING ENGINEERS, INC.
150 EAST 200 NORTH SUITE P
LOGAN, UTAH 84321
435-755-5121

GENERAL NOTES (APPLICABLE TO ALL OTHER SHEETS)

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, APWA, HYRUM CITY STANDARDS, STATE OF UTAH AND ANY OTHER APPLICABLE STANDARDS ISSUED BY THE CONTROLLING AGENCY.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER.
3. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN ALL ADJACENT PROPERTY (PUBLIC & PRIVATE) FROM ALL CONSTRUCTION DEBRIS.
5. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION FROM ALL NEW CONSTRUCTION TO EXISTING CONDITIONS.
6. CONTRACTOR SHALL PROVIDE ALL NECESSARY AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES.
7. CONTRACTOR SHALL REPLACE SURVEY MONUMENTS DAMAGED DURING CONSTRUCTION. SURVEY MONUMENTS TO BE REPLACED BY A REGISTERED, LICENSED LAND SURVEYOR.
8. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, INCLUDING FIBER OPTIC. ANY DAMAGES TO EXISTING UTILITIES WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.
9. DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPELINE UNLESS OTHERWISE NOTED.
10. DISTANCES SHOWN ALONG PIPELINES ARE HORIZONTAL DISTANCES AND NOT ACTUAL PIPE LENGTHS. MORE PIPE MAY BE REQUIRED TO COMPLETE CONSTRUCTION THAN IS DIMENSIONED IN THE PLANS.
11. THRUST BLOCKS SHALL BE PLACED ON WATERLINES AT ALL DIRECTION CHANGES, FITTINGS, BENDS, ELBOWS, FIRE HYDRANTS AND GATES VALVES AS SHOWN IN THE PROJECT PLANS.
12. CONTRACTOR IS REQUIRED TO HAVE A SET OF APPROVED PLANS ON THE SITE AT ALL TIMES. ANY WORK COMPLETED WITHOUT A SET PRESENT IS DONE SO AT THE CONTRACTOR'S RISK AND EXPENSE IF ERRORS OCCUR.
13. CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER NECESSARY FOR DUST ABATEMENT, COMPACTION, ETC.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SOURCES FOR GRANULAR MATERIALS, WATER, WASTE SITES, AND ANY OTHER MATERIALS SOURCES AS REQUIRED FOR PROJECT COMPLETION.
15. ANY WORK DONE WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TRANSPORTATION AGENCY AND SHALL MEET THE REQUIREMENTS OF THAT AGENCY AND THE REQUIREMENTS OF ANY RIGHT-OF-WAY OR SPECIAL USE PERMITS.
16. THE CONTRACTOR SHALL COORDINATE ALL LIVE TAPS AND ANY OTHER WORK OR MANIPULATION OF THE WATER SYSTEM WITH THE CITY.
17. ON SLOPING AREAS THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MITIGATE ANY POSSIBLE EROSION PROBLEMS IN THE TRENCHES DUE TO STORM WATER THAT MIGHT OCCUR DURING OR AFTER CONSTRUCTION AS DIRECTED OR APPROVED BY ENGINEER.
18. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE PROJECT PLANS UNTIL A NOTICE OF TERMINATION IS APPROVED BY AND ISSUED BY THE STATE FOR THIS PROJECT.
19. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONS NECESSARY TO INSURE THAT NO STORM WATER/SEDIMENT AND/OR CONSTRUCTION DEBRIS ARE RELEASED FROM THE SITE. ANY RELEASES SHALL BE CLEANED AND MITIGATED AT THE CONTRACTOR'S EXPENSE.
20. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACCESS AND RELATED TRAFFIC CONTROL WITH THE COUNTY, CITY, AND STATE ROADWAY DEPARTMENTS. THE ENGINEER SHALL REVIEW ALL TRAFFIC CONTROL PLANS.
22. ALL GATE VALVES SHALL BE LOCATED PER HYRUM CITY STANDARDS AND SPECIFICATIONS.
23. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS, HARDWARE, LABOR, ETC. TO CONSTRUCT VERTICAL AND HORIZONTAL BENDS IN PIPE AS NEEDED TO MEET THE REQUIRED GRADES, ALIGNMENTS AND COVER REQUIREMENTS.
24. ALL AIR RELEASE VALVES SHALL BE INSTALLED AT THE CREST OF THE VERTICAL CURVATURE OF THE WATER LINE. CONTRACTOR SHALL RECORD ACTUAL LOCATION OF VALVES ON FIELD RECORD DRAWINGS.
25. THE CONTRACTOR SHALL SCHEDULE WITH HYRUM CITY FOR SEWER AND WATER UTILITY INSPECTIONS PRIOR TO BACKFILLING.
26. ALL WATER SYSTEM COMPONENTS SHALL BE INSTALLED, PRESSURE TESTED, CHLORINATED AND APPROVED PRIOR TO COMPLETING ANY ROADWAY CONSTRUCTION.

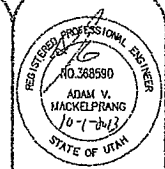
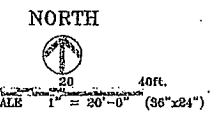
DATE	REVISIONS	DRAWING	BY
SCALE	1"=20'	DRAWN BY	BSL
RANDY GODFREY PROJECT PART OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASELINE AND MERIDIAN 300 NORTH, 40 WEST, HYRUM, UTAH INDEX SHEET			

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 (435) 755-5121

SHEET
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OF
SHEET

RANDY GODFREY

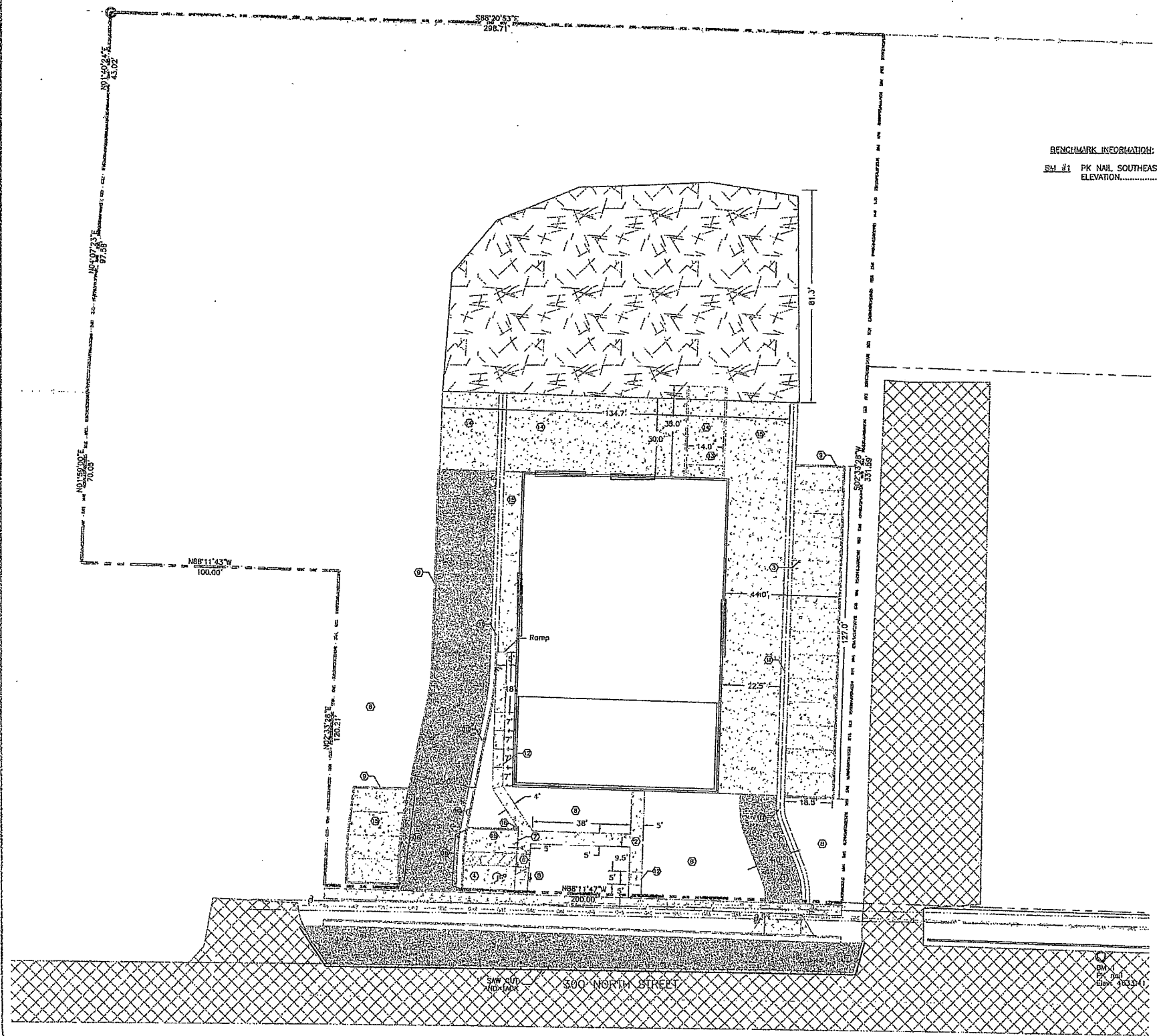
PART OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASELINE AND MERIDIAN
300 NORTH, 40 WEST, HYRUM, UTAH
SITE PLAN



- LEGEND**
- LOT LINE
 - NEW INFLOW CURBING
 - EXISTING OVERHEAD POWER LINES
 - NEW ASPHALT
 - EXISTING ASPHALT
 - NEW CONCRETE
 - NEW 4" GRAVEL

- SITE REFERENCE NOTES**
- ① 3" ASPHALT OVER PROPERLY PREPARED BASE COURSE. DRAIN AS PER GRADING/DRAINAGE PLAN.
 - ② 4" CONCRETE SIDEWALK w/ 4" GRAVEL BASE PER CITY STANDARD
 - ③ PAINTED PARKING LOT STRIPING.
 - ④ WHITE HANDICAPPED LOGO WITH BLUE BACKGROUND PAINTED
 - ⑤ "HANDICAPPED RESERVED PARKING SIGN MOUNTED ON METAL POLE BEHIND THE SIDEWALK (CENTER IN STALL)
 - ⑥ HANDICAP ACCESS RAMP
 - ⑦ 6" HIGH BACK CURB/SIDEWALK
 - ⑧ LANDSCAPING
 - ⑨ 6" HIGH BACK CURB
 - ⑩ 30" INFLOW CURB
 - ⑪ 36" VALLEY CUTTER
 - ⑫ STEPS
 - ⑬ TRUCK RAMP W/ RETAINING WALLS
 - ⑭ HEAVY DUTY CONCRETE
 - ⑮ LIGHT DUTY CONCRETE
 - ⑯ CURB CUT

BENCHMARK INFORMATION:
BM #1 PK NAIL SOUTHEAST OF PROJECT
ELEVATION.....4633.41

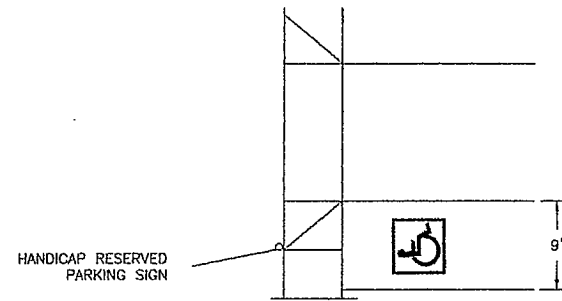
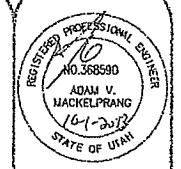


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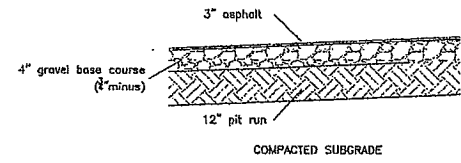
PROJECT
RANDY GODFREY
PART OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASELINE AND MERIDIAN
300 NORTH, 40 WEST, HYRUM, UTAH
SITE PLAN

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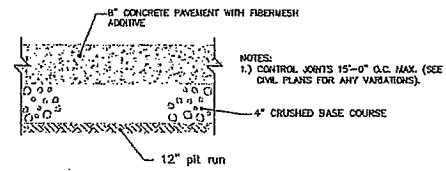
RANDY GODFREY
SITE PLAN DETAILS



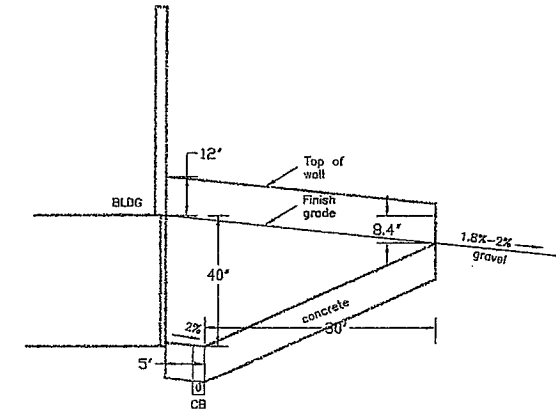
HANDICAP STALL DETAIL
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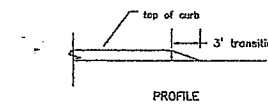
PARKING PAVING SECTION



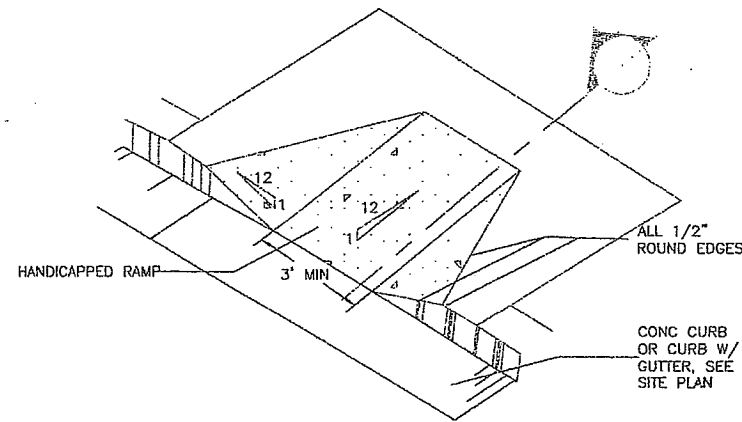
HEAVY DUTY CONCRETE DETAIL



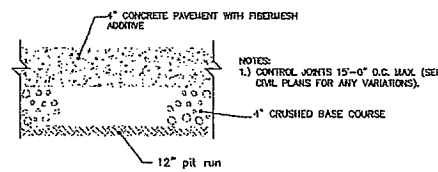
RAMP DETAIL
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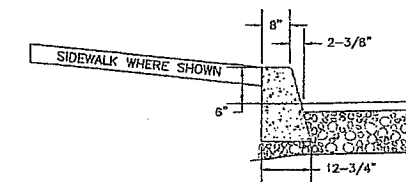
CURB ENDING DETAIL
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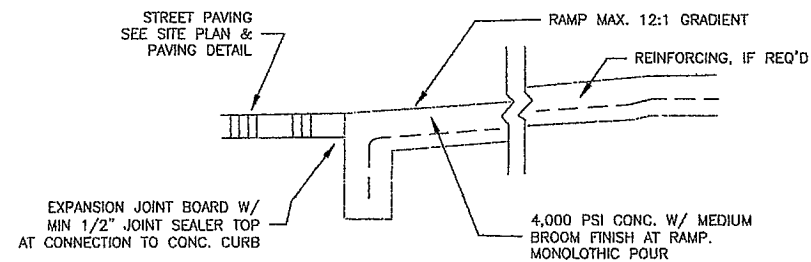
HANDICAP ACCESS DETAIL
NOT TO SCALE



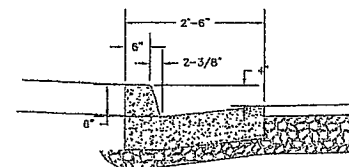
LIGHT DUTY CONCRETE DETAIL



6" HIGH BACK CURB DETAIL

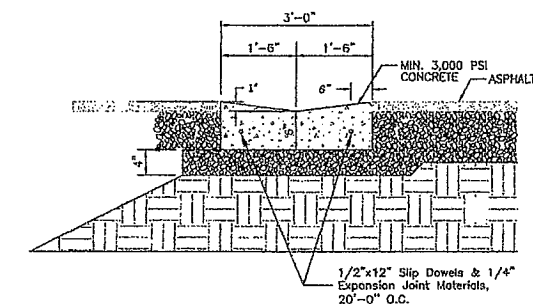


HANDICAP ACCESS SECTION
NOT TO SCALE



NOTES:
1. Construction joints 10 feet on center to a depth of 1/4 the curb.
2. Expansion joints with premolded filler 150 feet on center.
3. Exposed concrete surface to have a light broom finish.

INFLOW CURB AND GUTTER DETAIL



36" VALLEY GUTTER DETAIL

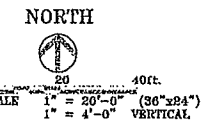
DATE	REVISIONS	DRAWING	ABLEY/DWG
SCALE	1"=20'	DRAWN BY	BGL

PROJECT
RANDY GODFREY
PART OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 10 NORTH, RANGE 1 EAST, SALT LAKE BASIN AND MERIDIAN RANGE 300 NORTH, 40 WEST, HYRUM, UTAH
SITE PLAN DETAILS

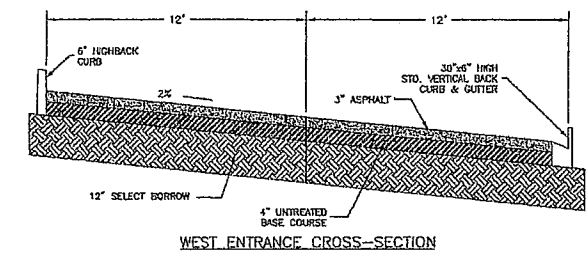
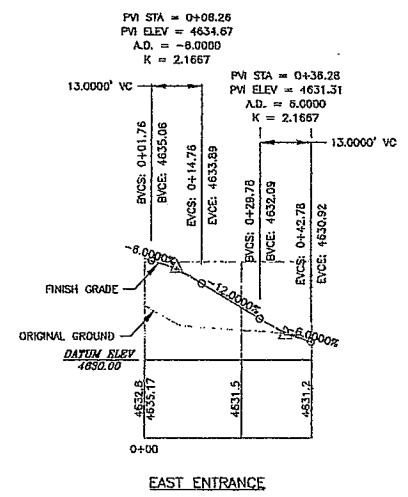
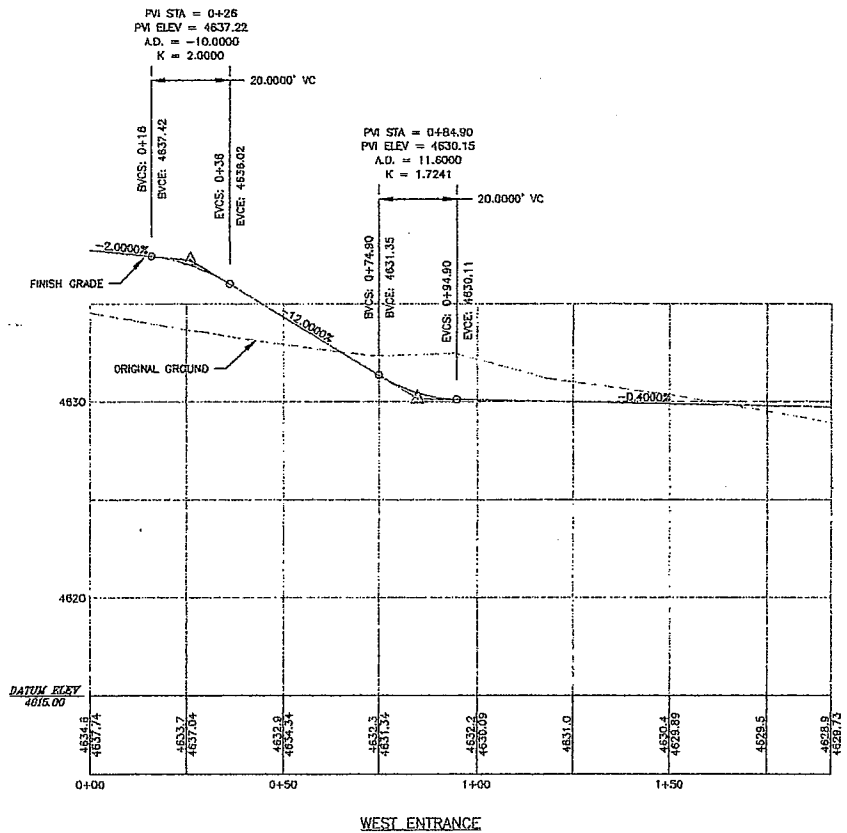
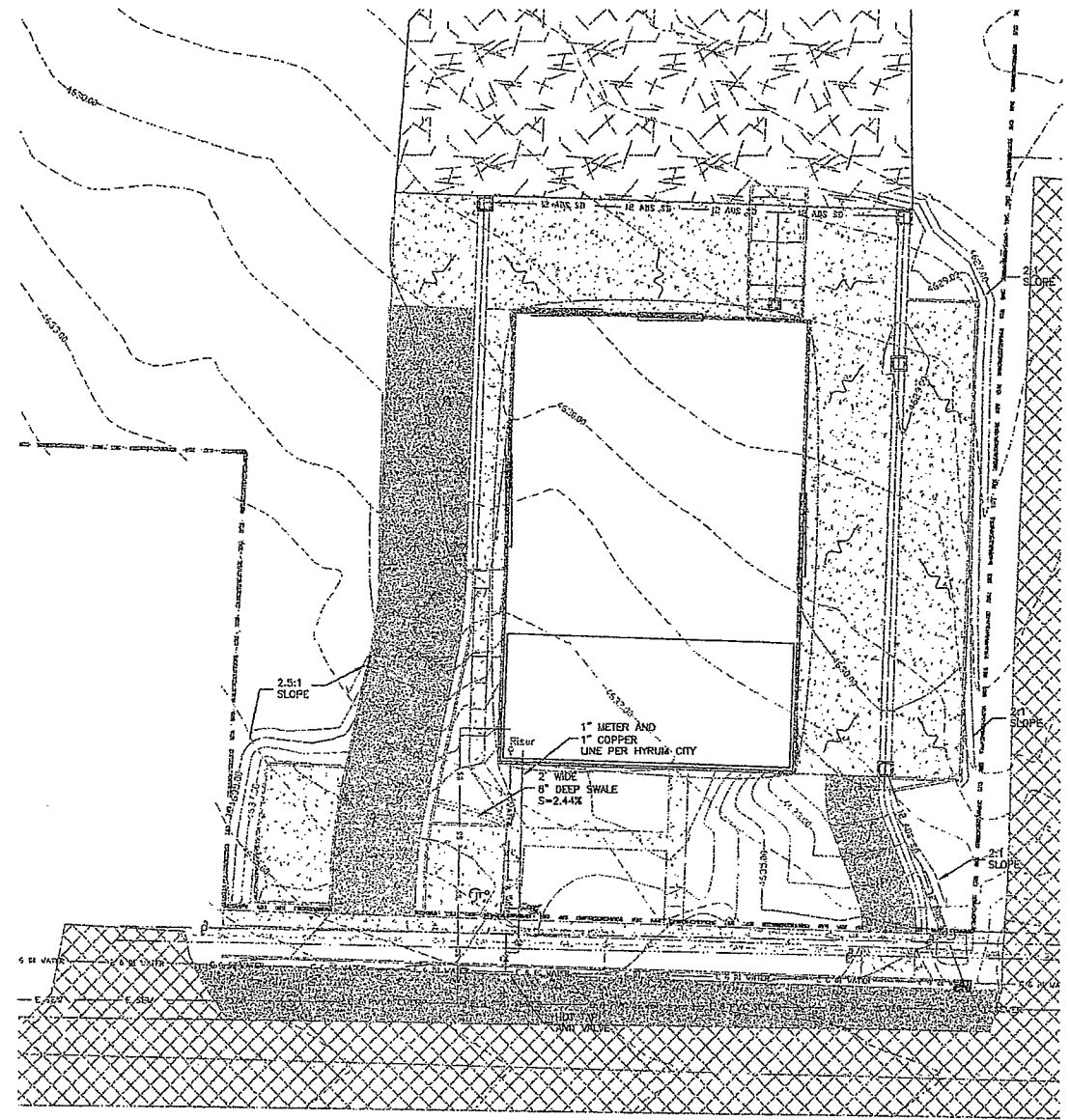
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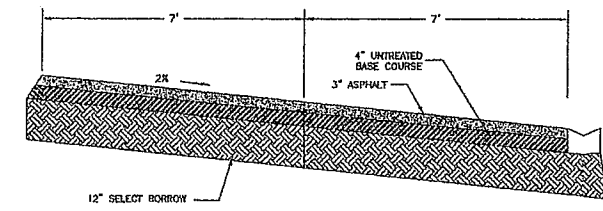
RANDY GODFREY
 PART OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 10
 NORTH, RANGE 1 EAST, SALT LAKE BASELINE AND MERIDIAN
 300 NORTH, 40 WEST, HYRUM, UTAH
UTILITY/GRADING PLAN



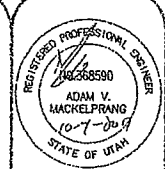
- LEGEND**
- LOT LINE
 - EXISTING 6" DI WATER/FH/VALVE
 - PROPOSED 6" CLASS 350 DI WATER
 - EXISTING 8" PVC SEWER
 - PROPOSED 4" PVC SEWER
 - PROPOSED STORM LINE/BOX
 - EXISTING MINOR CONTOUR (1.0')
 - EXISTING MAJOR CONTOUR (5.0')
 - EXISTING MINOR CONTOUR (1.0')
 - EXISTING MAJOR CONTOUR (5.0')
 - EXISTING GAS LINE



WEST ENTRANCE CROSS-SECTION



EAST ENTRANCE CROSS-SECTION



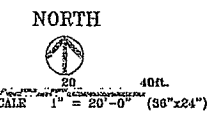
DATE	6-2013	DRAWING	NBELEY.DWG
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SCALE	1"=20'		

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UTILITY/GRADING PLAN

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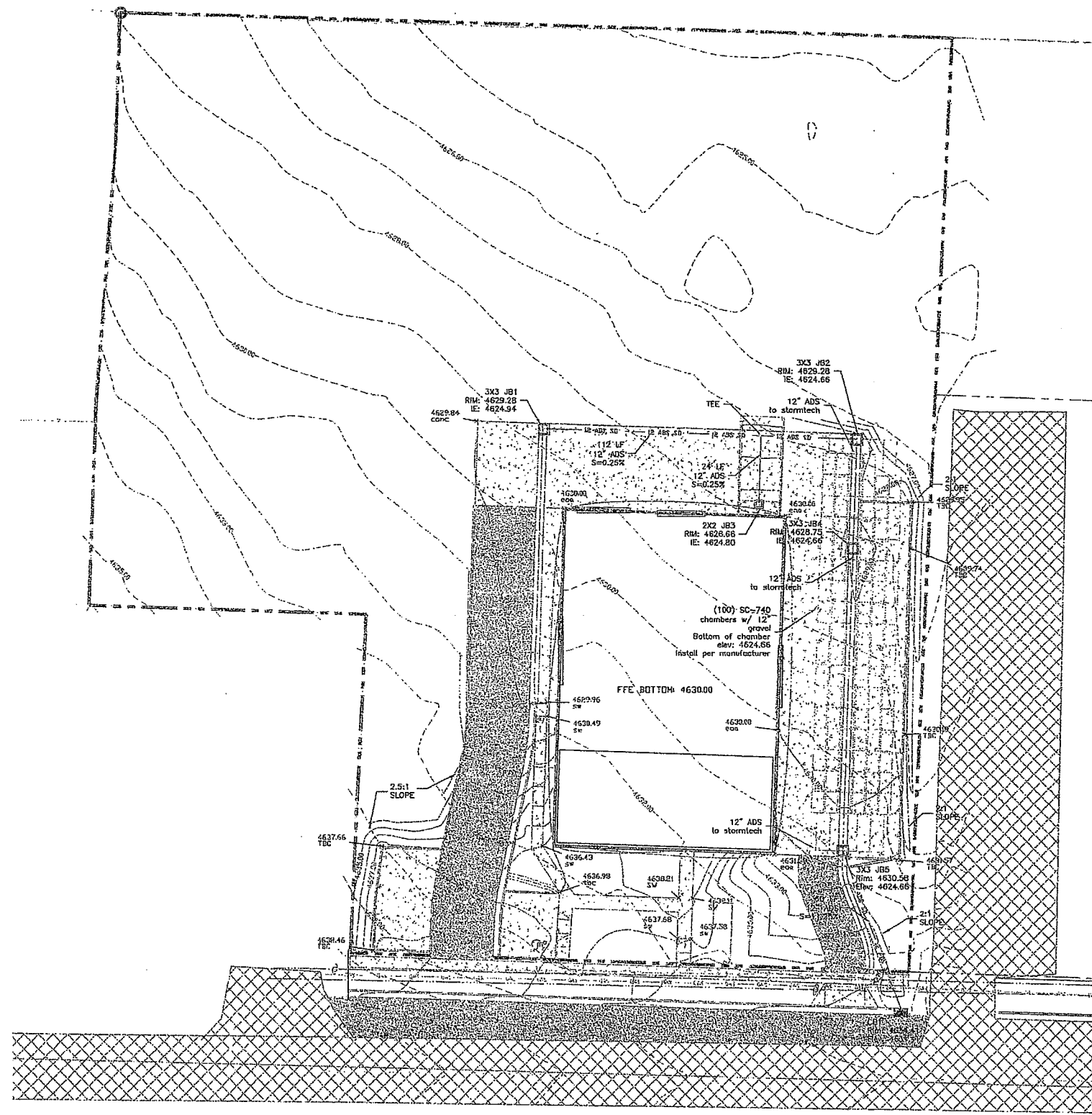


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DRAINAGE PLAN



LEGEND

---	LOT LINE
—E VTR—	EXISTING WATER/FH/VALVE
—P VTR—	PROPOSED WATER AS NOTED
—E VTR—	EXISTING SEWER
—P VTR—	PROPOSED SEWER AS NOTED
—18 ADS SD—	PROPOSED STORM LINE/BOX
x 4491.50 660	SPOT ELEVATION
~	PROPOSED SLOPE
---	EXISTING MINOR CONTOUR (1.0')
---	EXISTING MAJOR CONTOUR (5.0')
---	PROPOSED MINOR CONTOUR (0.5')
---	PROPOSED MAJOR CONTOUR (2.5')



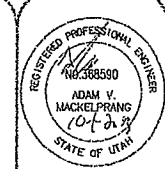
STORM DRAINAGE CALCULATIONS

CONTRIBUTING DRAINAGE AREA: 41,408 S.F. (0.95 acres)
 IMPERVIOUS AREA: 23,638 S.F. road
 9,600 S.F. roof
 33,238 S.F. Total
 C-IMPERVIOUS: 0.9
 C*A=29,914
 REMAINING UNDEVELOPED/LANDSCAPED AREA: 8,170 S.F.
 C-UNDEVELOPED: 0.15
 C*A= 1,225
 C-POST=37,139 /41,408 = 0.75

LENGTH OF DRAINAGE PATH: 350 FEET
 TIME OF CONCENTRATION: 350/180 +10= 11.94 MIN
 1100=3.9 IN/HR

Q100 = (3.9IN/HR)*0.75*0.95 ACRES= 2.80 CFS
 CAPACITY OF EACH 15 IN PIPE @ 0.5% = 4.46 CFS

VOLUME REQUIRED FOR SUMP
 100 YR 24 HR STORM: 3.15 INCHES (NOAA ATLAS 14)
 C-POST: 0.33
 VOLUME: (3.15 IN)*(0.75)*(0.95 ACRES) = 8,152 CF



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