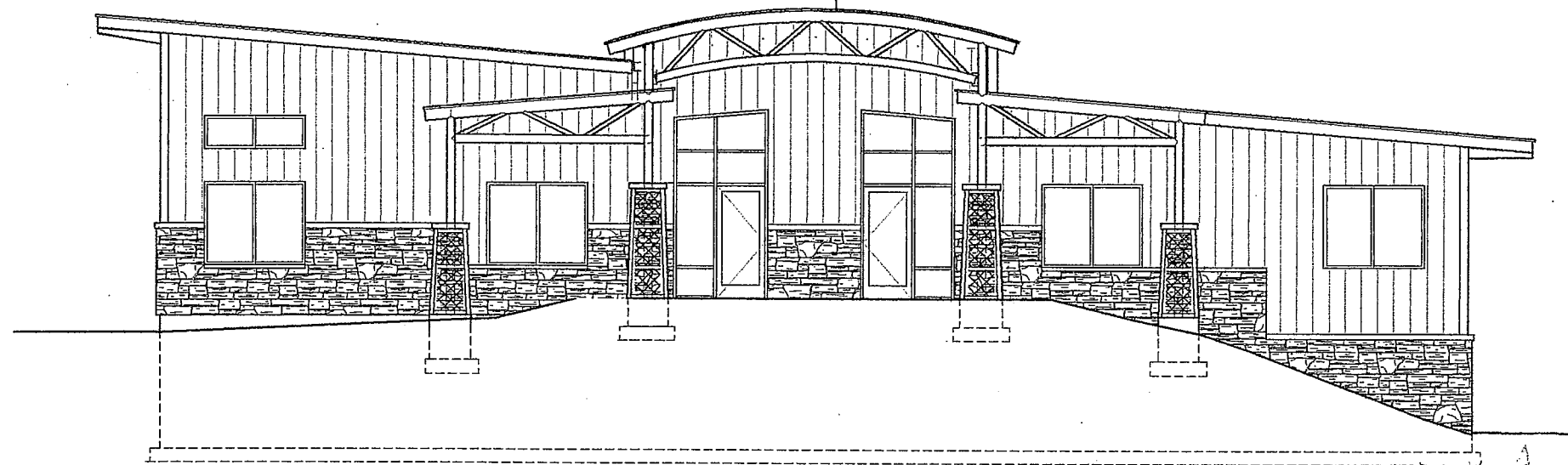


SUNRAY PROPERTIES OFFICE / WAREHOUSE

GENERAL NOTES



architect
DON KNIGHTON

171 WEST 1100 NORTH
HARRISVILLE, UT 84404
(801) 783-1171
(801) 770-8828 CELL

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**SUNRAY
PROPERTIES LLC
OFFICE/WAREHOUSE
HYRUM, UTAH**

DRAWN BY: DK
ISSUE DATE: 9-19-2011

COVER DRAWING

G-101

USE: B / F1 OR S1 OR S2 (LEASE SPACE)

DESIGNED UNDER SDC 1.0

BUILDING USE - IMPROVED - 1ST LEVEL:
F1 - WAREHOUSE
NET BUILDING AREA: 5,300

BUILDING USE - IMPROVED - MEZZANINE:
S - OFFICE
NET BUILDING AREA: 2,000

	B	F1	F2	S1	S2
CONTRACT TYPE	0	0	0	0	0
BASE ALLOWABLE	23,000	15,000	23,000	17,000	20,000
AREA INCREASE - PROMOTE	12,000	11,000	17,000	14,000	10,000
AREA INCREASE - IMPROVE USE	0	0	0	0	0
AREA INCREASE - MULTIPLE FLOOR	0	0	0	0	0
TOTAL ALLOWABLE AREA	45,000	27,000	40,000	31,000	30,000

AREA INCREASE - PROMOTE
PERMETER OF ENTIRE BUILDING
ALLOWED PERMETER TANGENT FROM
OUTER PERIMETER OF OPEN SPACE
INFORMA BY FT OPEN SPACES
SECTION OF PUBLIC WAY OR
OPEN SPACE
AREA INCREASE FROM DUE TO PROMOTE 700

BUILDING USE:

THIS BUILDING WILL BE USED FOR OFFICE SPACE AND WAREHOUSE

FIVE PERFORMANCE TYPES FOR BUILDING ELEMENTS:

ELEMENT	MINIMUM	NOTED
STRUCTURAL FINISHES	NONCOMMERCIAL	0 HOUR
STRUCTURAL BRICKS/WALLS	NONCOMMERCIAL	0 HOUR
STRUCTURAL CONCRETE WALLS	NONCOMMERCIAL	0 HOUR
SHAFT ENCLOSURES	NONCOMMERCIAL	0 HOUR
FLOORING AND PARTITION	NONCOMMERCIAL	0 HOUR
ROOFING ASSEMBLY	NONCOMMERCIAL	0 HOUR
ROOF	NONCOMMERCIAL	NONE
OCCUPANCY	NONCOMMERCIAL	2 HOUR
FLOOR	OCCUPANCY	NO REQ
BASE FLOOR	2	1
UPPER MEZZ	7	1
TOTAL	28	1

GENERAL

G-100 COVER DRAWING
G-101 SPECIFICATIONS
G-102 SPECIFICATIONS
G-103 SPECIFICATIONS

CMR

C100 SITE PLAN
C101 OPENING AND EGRESS PLAN
C102 EROSION CONTROL PLAN

STRUCTURAL

S-11 GENERAL STRUCTURAL NOTES
S-12 FOUNDATION PLAN
S-13 DETAILS
S-14 MECHANICAL FINISHING PLAN
S-15 FLOOR FINISHING DETAILS
S-16 BRICK

ARCHITECTURAL

A-101 BASE LEVEL - FLOOR PLAN
A-102 MEZZANINE LEVEL - FLOOR PLAN
A-103 EXTERIOR ELEVATIONS
A-104 BUILDING SECTIONS
A-105 EXTERIOR SECTIONS
A-106 WALL SECTIONS
A-107 WALL SECTIONS
A-108 WALL SECTIONS
A-109 DOOR AND WINDOW DETAILS

ARCHITECTURAL CONTS

A-100 EXTERIOR ELEVATIONS AND DETAILS
A-101 EXTERIOR ELEVATIONS AND DETAILS
A-102 FLOOR PLAN & DETAILS
A-103 BRICK LEVEL, REFLECTED CEILING PLAN
A-104 MEZZANINE LEVEL, REFLECTED CEILING PLAN

MECHANICAL

M-101 MECHANICAL GENERAL INFORMATION
M-102 MECHANICAL SPECIFICATIONS
M-103 BASE LEVEL MECHANICAL PLAN
M-104 UPPER LEVEL MECHANICAL PLAN
M-105 UPPER LEVEL PLUMBING PLAN
M-106 MECHANICAL DETAILS & CONNECTIONS

FINISHING

F-101 FINISHING GENERAL INFORMATION
F-102 FINISHING SPECIFICATIONS
F-103 BRICK LEVEL FINISHING PLAN
F-104 UPPER LEVEL FINISHING PLAN
F-105 FINISHING DETAILS

EXTERIOR

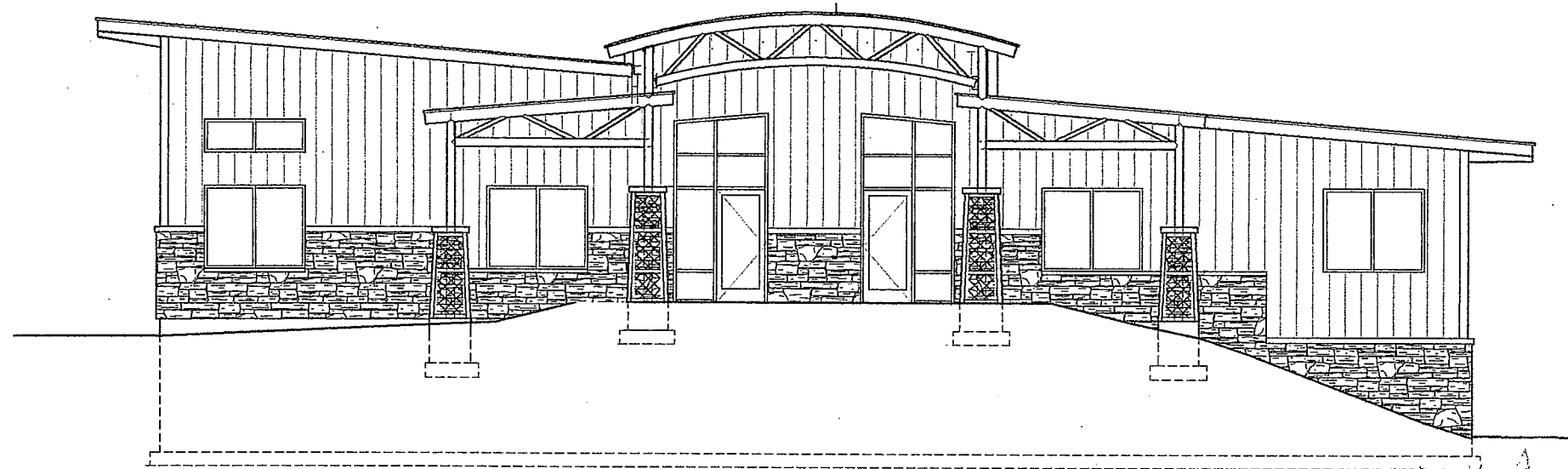
E-101 OPEN LEVEL - LANDING PLAN
E-102 MEZZANINE LEVEL - LANDING PLAN
E-103 BRICK LEVEL - POWER PLAN
E-104 MEZZANINE LEVEL - POWER PLAN

A3 CODE ANALYSIS
SCALE: NTS

A5 INDEX TO DRAWINGS
SCALE: NTS

GENERAL NOTES

SUNRAY PROPERTIES OFFICE / WAREHOUSE



architect
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**SUNRAY
PROPERTIES LLC
OFFICE/WAREHOUSE
HYRUM, UTAH**

DRAWN BY: DK
ISSUE DATE: 9-19-2011

COVER DRAWING

G-101

USE: B / F1 OR S1 OR S2 (LEASE SPACE)

DESIGNED UNDER SDC 10

BUILDING USE - IMPROVED - 1ST LEVEL:
F1 - WAREHOUSE
NET BUILDING AREA: 5,300

BUILDING USE - IMPROVED - MEZZANINE:
S - OFFICE
NET BUILDING AREA: 2,000

	B	F1	S1	S2
CONTRACT TYPE	0	0	0	0
BASED ALLOWABLE	25,000	15,000	25,000	17,500
AREA INCREASE - PROMOTE	12,500	11,000	17,500	15,000
AREA INCREASE - IMPROVE USE	0	0	0	0
AREA INCREASE - MULTIPLE FLOOR	0	0	0	0
TOTAL ALLOWABLE AREA	40,000	37,000	42,500	32,500

AREA INCREASE - PROMOTE
PERMETER OF ENTIRE BUILDING
BLDG PERMETER THIS PROJECT
OUTLINE PERMETER OF OPEN SPACE
PERMETER OF PUBLIC WAY OR
OPEN SPACE
AREA INCREASE PERMETER OF PROMOTE

A3 CODE ANALYSIS
SCALE: NTS

BUILDING USE:

THIS BUILDING WILL BE USED FOR OFFICE SPACE AND WAREHOUSE

PERMITS REQUIRED FOR BUILDING ELEMENTS:

ELEMENT	MINIMUM	NOTING
STRUCTURAL FINISHES	NON-COMMERCIAL	0 HOUR
STRUCTURAL BRICKS/WALLS	NON-COMMERCIAL	0 HOUR
INTERIOR CONCRETE WALLS	NON-COMMERCIAL	0 HOUR
DRIFT ENCLOSURES	NON-COMMERCIAL	0 HOUR
FLOORING AND PARTITION	NON-COMMERCIAL	0 HOUR
MECHANICAL ASSEMBLY	NON-COMMERCIAL	0 HOUR
ROOFING	NON-COMMERCIAL	0 HOUR
OCCUPANCY	NON-COMMERCIAL	2 HOUR
FLOOR	OCCUPANCY	2 HOUR
BASE FLOOR	2	1
UPPER MEZZ	7	1
TOTAL	28	1

BASE FLOOR
UPPER MEZZ
TOTAL

GENERAL

G-100 COVER DRAWING
G-101 SPECIFICATIONS
G-102 SPECIFICATIONS
G-103 SPECIFICATIONS

MECHANICAL

M-100 MECHANICAL GENERAL INFORMATION
M-101 MECHANICAL SPECIFICATIONS
M-102 MECHANICAL SPECIFICATIONS
M-103 MECHANICAL SPECIFICATIONS
M-104 MECHANICAL SPECIFICATIONS
M-105 MECHANICAL SPECIFICATIONS
M-106 MECHANICAL SPECIFICATIONS
M-107 MECHANICAL SPECIFICATIONS
M-108 MECHANICAL SPECIFICATIONS
M-109 MECHANICAL SPECIFICATIONS
M-110 MECHANICAL SPECIFICATIONS
M-111 MECHANICAL SPECIFICATIONS
M-112 MECHANICAL SPECIFICATIONS
M-113 MECHANICAL SPECIFICATIONS
M-114 MECHANICAL SPECIFICATIONS
M-115 MECHANICAL SPECIFICATIONS
M-116 MECHANICAL SPECIFICATIONS
M-117 MECHANICAL SPECIFICATIONS
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M-119 MECHANICAL SPECIFICATIONS
M-120 MECHANICAL SPECIFICATIONS

A5 INDEX TO DRAWINGS
SCALE: NTS

SUNRAY PROPERTIES LLC, OFFICE/WAREHOUSE
 PART OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 10
 NORTH, RANGE 1 EAST, SALT LAKE BASELINE AND MERIDIAN
 300 NORTH, 40 WEST, HYRUM, UTAH
SITE PLAN

NORTH

 0 20 40ft.
 SCALE 1" = 20'-0" (98"x24")

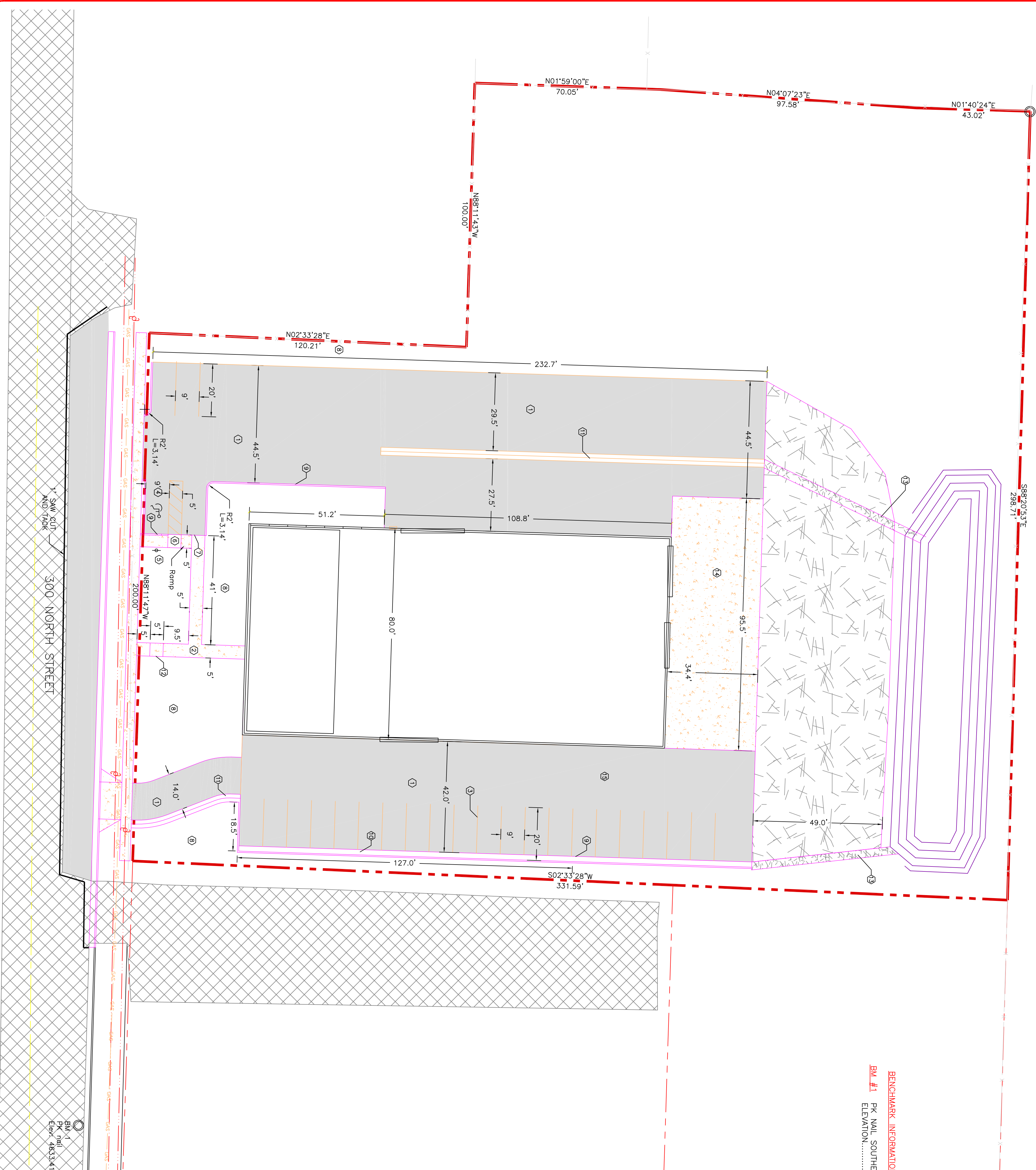
LEGEND

	LOT LINE
	NEW INFLOW CURBING
	EXISTING OVERHEAD POWER LINES
	NEW ASPHALT
	EXISTING ASPHALT
	NEW CONCRETE
	NEW 4" GRAVEL

BENCHMARK INFORMATION:
BM #1 PK NAIL SOUTHEAST OF PROJECT
 ELEVATION:.....4633.41

SITE REFERENCE NOTES

- ① 3" ASPHALT OVER PROPERLY PREPARED BASE COURSE. DRAIN AS PER GRADING/DRAINAGE PLAN.
- ② 4" CONCRETE SIDEWALK w/ 4" GRAVEL BASE PER CITY STANDARD
- ③ PAINTED PARKING LOT STRIPING.
- ④ WHITE HANDICAPPED LOGO WITH BLUE BACKGROUND PAINTED
- ⑤ "HANDICAPPED RESERVED PARKING SIGN MOUNTED ON METAL POLE BEHIND THE SIDEWALK (CENTER IN STALL)
- ⑥ HANDICAP ACCESS RAMP
- ⑦ 6" HIGH BACK CURB/SIDEWALK
- ⑧ LANDSCAPING
- ⑨ 6" HIGH BACK CURB
- ⑩ 30" INFLOW CURB
- ⑪ 36" VALLEY CUTTER
- ⑫ STEPS
- ⑬ 3" GRAVEL SWALE
- ⑭ HEAVY DUTY CONCRETE



BM #1
 PK NAIL
 ELEV: 4633.41

AE ALLIANCE CONSULTING ENGINEERS
 150 EAST 200 NORTH SUITE P
 LOGAN, UTAH 84321
 (435) 755-5121

PROJECT
SUNRAY PROPERTIES LLC, OFFICE/WAREHOUSE
 PART OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 10 NORTH,
 RANGE 1 EAST, SALT LAKE BASELINE AND MERIDIAN
 300 NORTH, 40 WEST, HYRUM, UTAH
SITE PLAN

SCALE 1"=20'	DATE 6-2013
	REVISIONS 3-2014
DRAWN BY BGL	DRAWING NIBLEY.DWG

