

CITY COUNCIL MEETING
AUGUST 6, 2015
BLACKSMITH FORK VILLAS
ASSISTED LIVING CENTER
FINAL PLAT & SITE PLAN
~680 EAST MAIN STREET

ZONING- R-2 Allows PUD- Also title 17.28.005 indicates that this area would be appropriate for a senior housing PUD. The General Plan also calls for a higher density senior development in this block.

UTILITIES- The utilities are being built to city standards with the city taking over maintenance and operation of utilities when completed. The electrical, sewer and water will be installed off of the highway and 700 east.

CURB, GUTTER, AND SIDEWALKS- Curb & gutter will be installed with sidewalks running in front of the building.

ROADS- UDOT has approved access as shown. Roads in the development to be maintained by owner.

PARKING- Parking stalls are being proposed in front of the assisted living area. It appears that more parking could be added if needed.

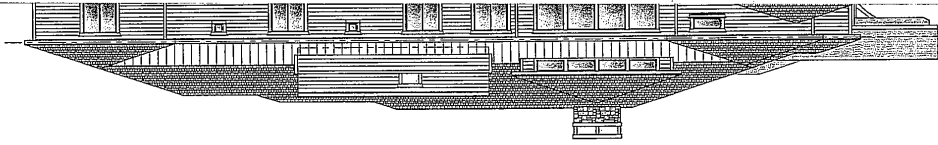
STORM WATER- As shown. They will be responsible for maintenance of ponds.

LANDSCAPPING- Similar to what has been installed in Phase 1.

FENCING- Fencing will be installed around development except along Main Street in front of the assisted living building.

BUILDINGS- Elevations and floor plans as proposed.

NOTES- The Final Plat has been reviewed by city staff and recommended for approval. The construction drawings are being reviewed by the city engineer for his approval. This building will be two stories above ground. It has gone back and forth with the developer on whether it would be one or two stories. It was approved as two stories with the concept plan and left to the planning commission in the preliminary plat to approve the final building elevations. They said they have commitments already for 60% of the occupancy of the building. They believe it now needs to be two stories to accommodate the demand. A fence will be placed between residential and the assisted living unit. It might be a good idea to require some columnar type trees to be planted between the assisted living building and the residential property. The Planning Commission unanimously recommends approval of the building elevations and site plan.

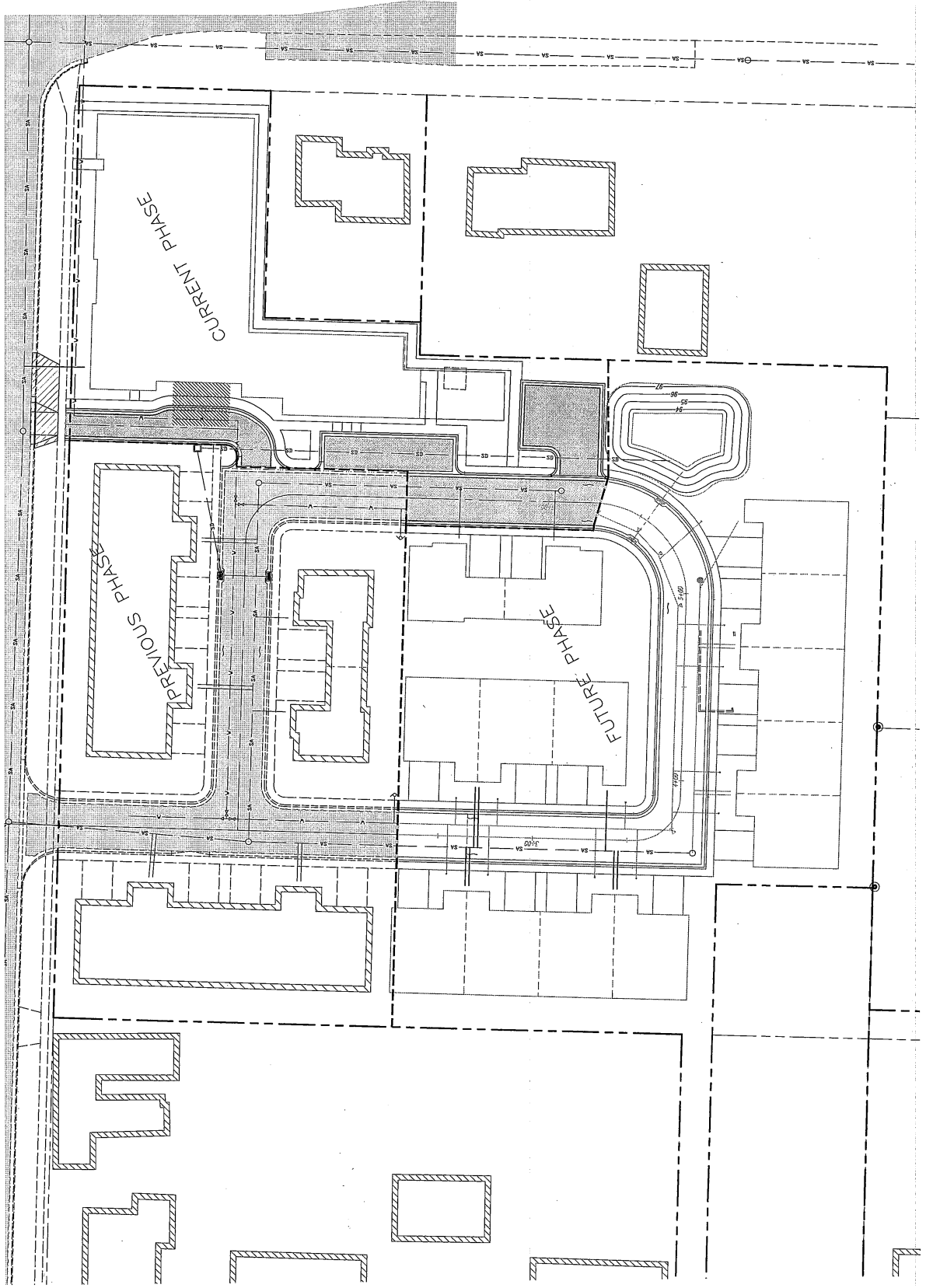


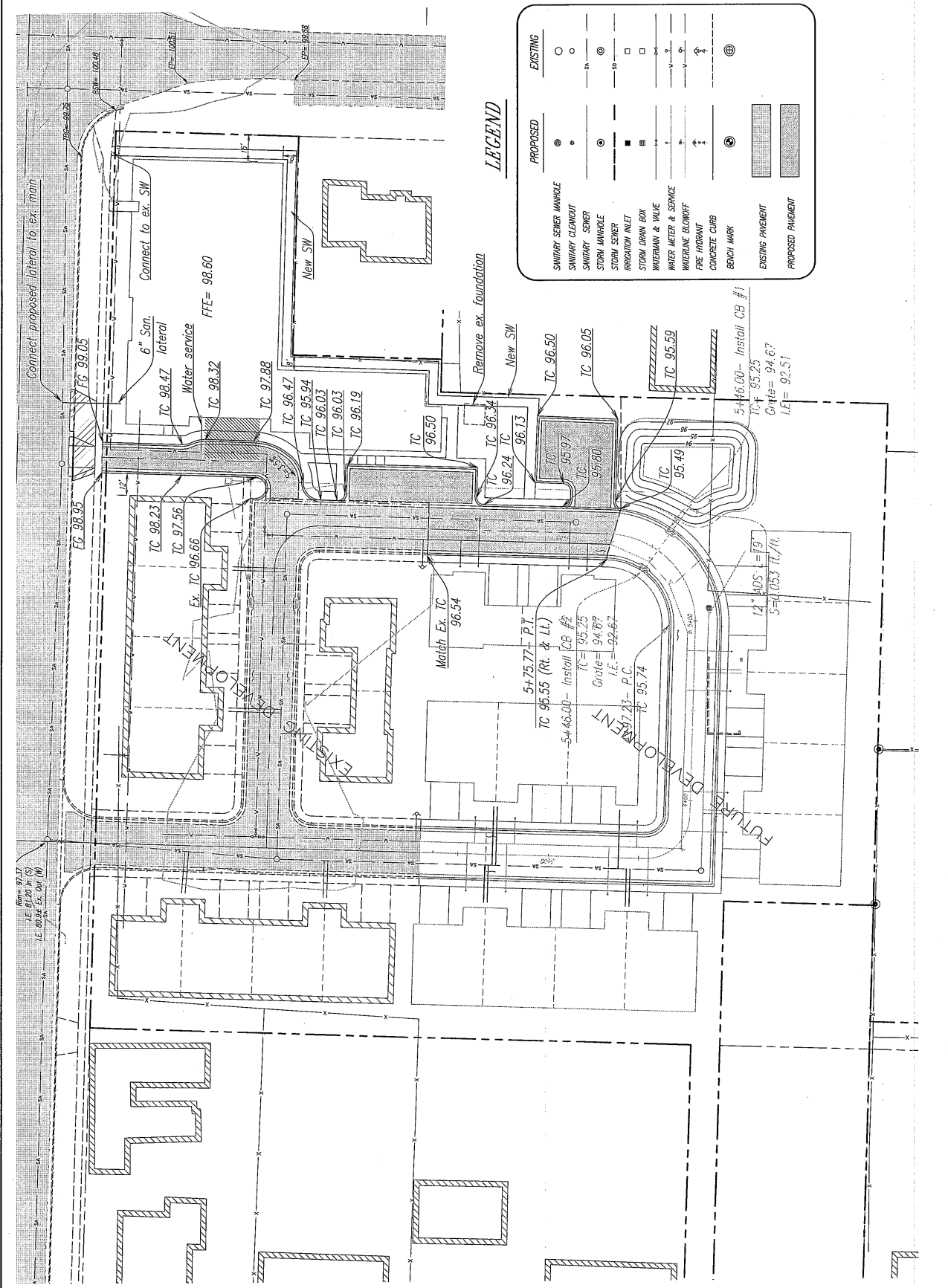
Turner Design Engineering, Inc.
 CIVIL ENGINEERING & LAND PLANNING
 60 E. CENTER #210 LOGAN, UT, 84321
 (435) 752-1889 (435) 770-2240

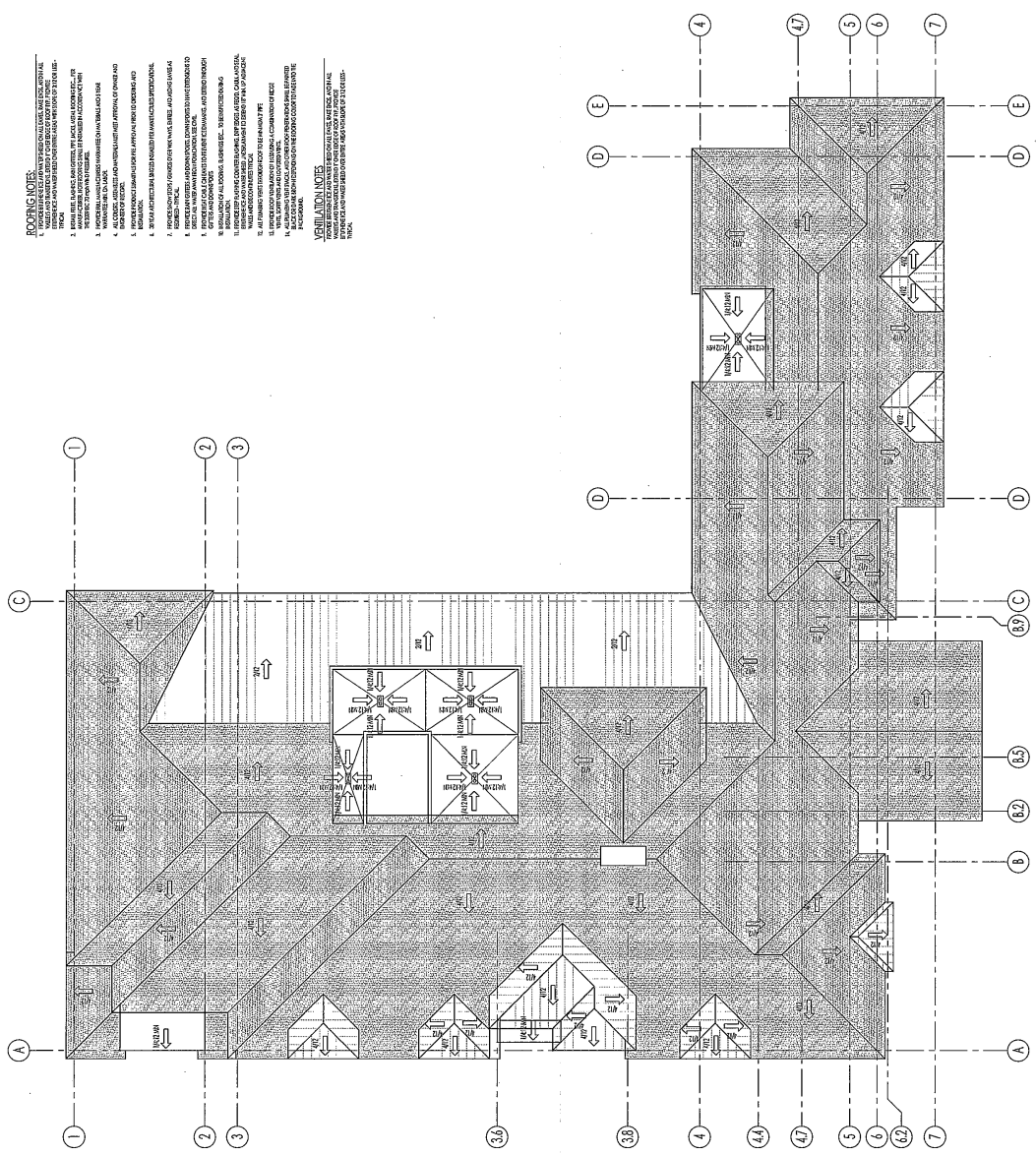


UTAH
 HYRUM,
 A RETIREMENT AND ASSISTED LIVING COMMUNITY
BLACKSMITH FORK VILLAS
 SANITARY SEWER AND WATER PLAN

Job Number	14-003
Sheet	1 of 1
Drawn by	DL
Checked by	DL
Date	July 15, 2015
Revisions	







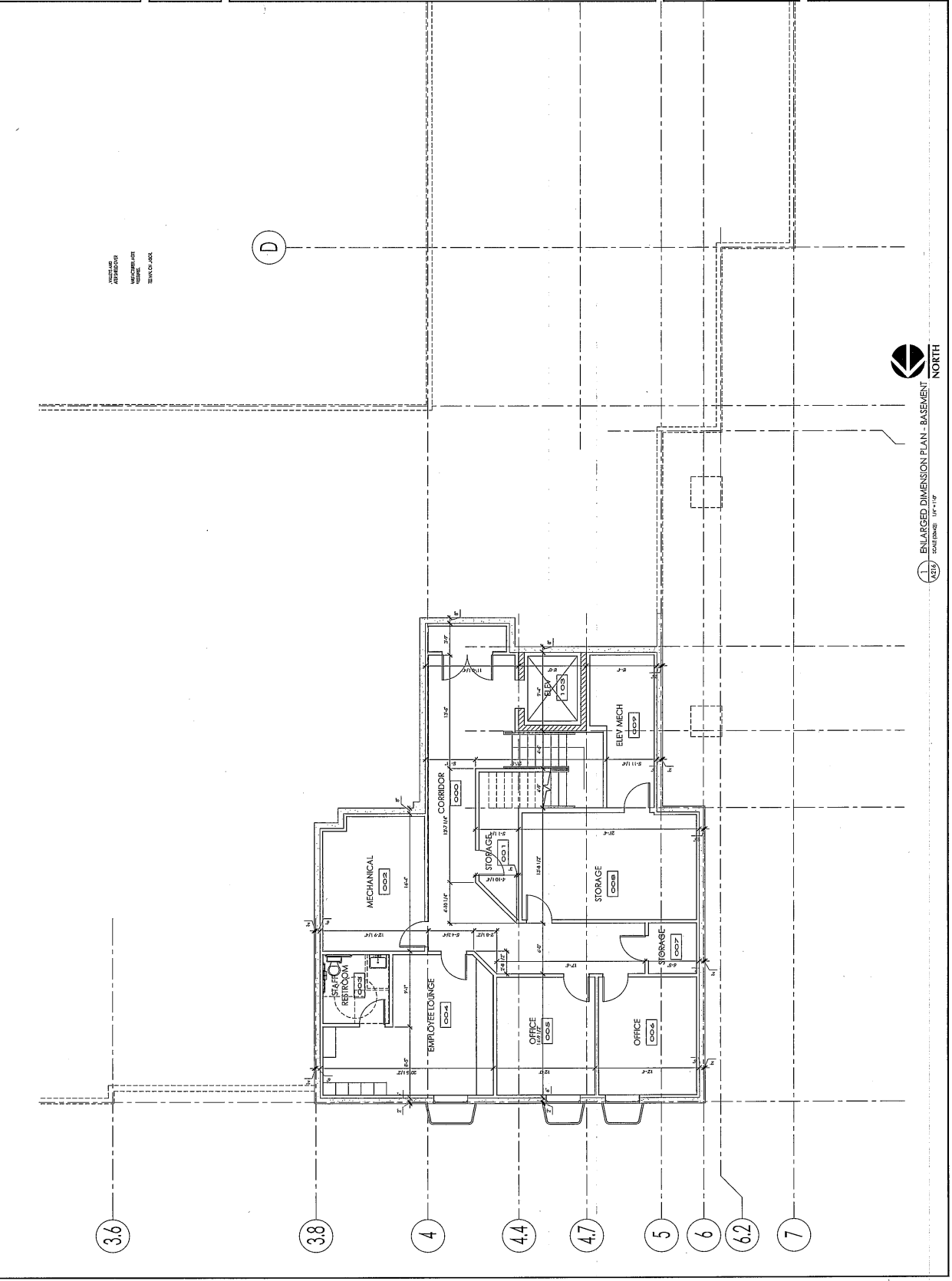
- ROOFING NOTES:**
1. REFER TO ALL OTHER DRAWINGS FOR MATERIALS AND FINISHES.
 2. ALL ROOFING SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 3. ROOFING SHALL BE INSTALLED OVER A SUFFICIENTLY STURDY AND LEVEL SUBSTRATE.
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- GENERAL NOTES:**
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ARCHITECTS AND ENGINEERS
2025 NORTH DAVENPORT BLVD SUITE 200
SALT LAKE CITY, UTAH 84143
PHONE: 801.466.8666 FAX: 801.466.8668
WWW.AEUBIA.COM

BLACKSMITH FORK WILLOWS ASSIST. LIVING CTR.
ADDRESS
HYRUM, UTAH

ENLARGED BSMT FLOOR
DIMENSION PLAN

AE2014.04B
REVISIONS
DRAWN BY: JRM
CHECKED BY: JRM
DATE: 04/20/14
SHEET NO.:
A216
SHEET 8



3.6

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1 ENLARGED DIMENSION PLAN - BASEMENT
DATE: 04/20/14

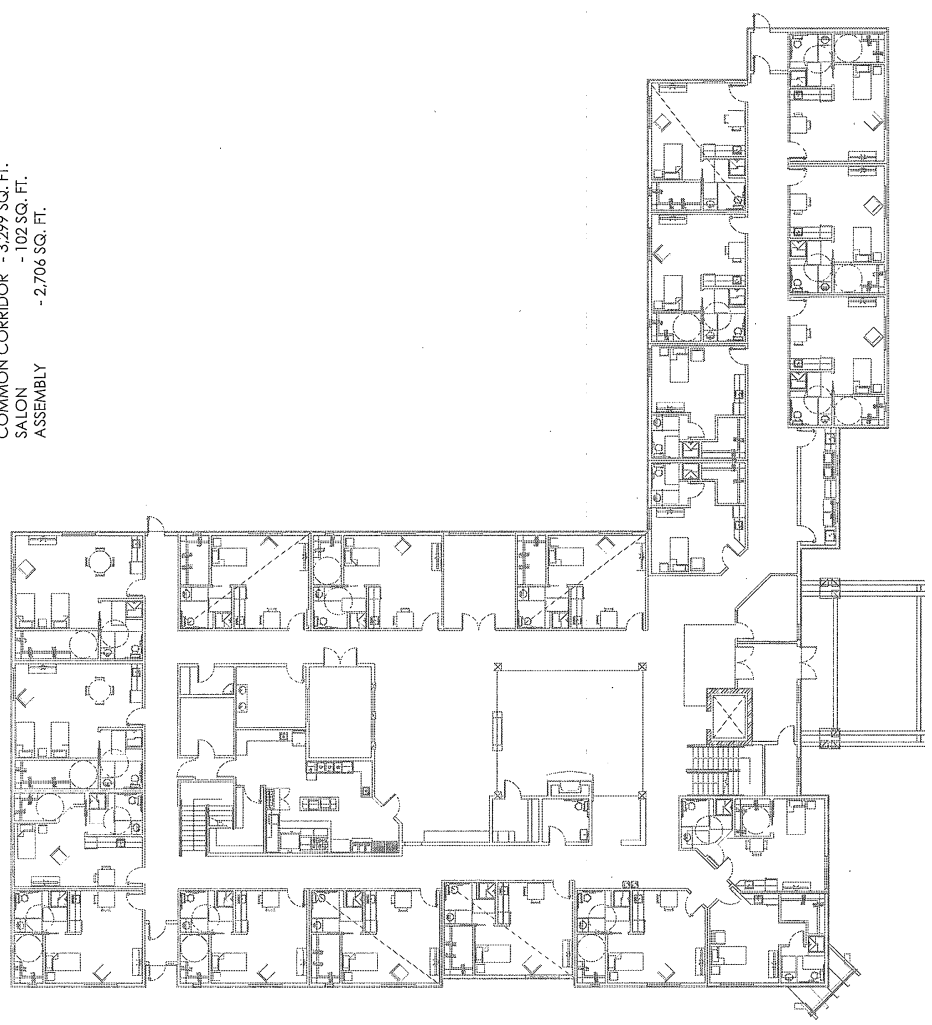
UNUSUAL
DIMENSIONS
INDICATED
BY DIM. LINES

aerthia
 architects and engineers
 2875 SOUTH DEWATER LANE DRIVE, SUITE 200
 SALT LAKE CITY, UTAH 84119
 PHONE 801.746.4656 FAX 801.973.4656
 WEB SITE: WWW.AERTHIA.COM

BLACKSMITH FORK WILLOWS ASSIST. LIVING CTR.
 ADDRESS
 HYRUM, UTAH

G003
 MAIN FLOOR EXITING AND EGRESS PLAN
 AER2014.048
 NUMBER:
 DRAWN BY: DM
 SCALE: AS NOTED
 DATE: 04/15/14
 SHEET NO. 03 OF 03

- KITCHEN - 603 SQ. FT.
- DINING - 2,406 SQ. FT.
- SLEEPING UNITS - 9,859 SQ. FT.
- OFFICE - 1,012 SQ. FT.
- STORAGE/MECH - 645 SQ. FT.
- COMMON CORRIDOR - 3,299 SQ. FT.
- SALON - 102 SQ. FT.
- ASSEMBLY - 2,706 SQ. FT.



LEGEND
 → COMMUNITY OF RESIDENTS
 → EXIT ACCESS WAY
 EXIT
 ○ OCCUPANCY COUNT

NOTE:
 1. INDICATIVE OF THE BUILDING EXISTING ON GRADE.

1 MAIN FLOOR EXITING AND EGRESS PLAN
 SCALE: 1/8" = 1'-0"
 DATE: 04/15/14

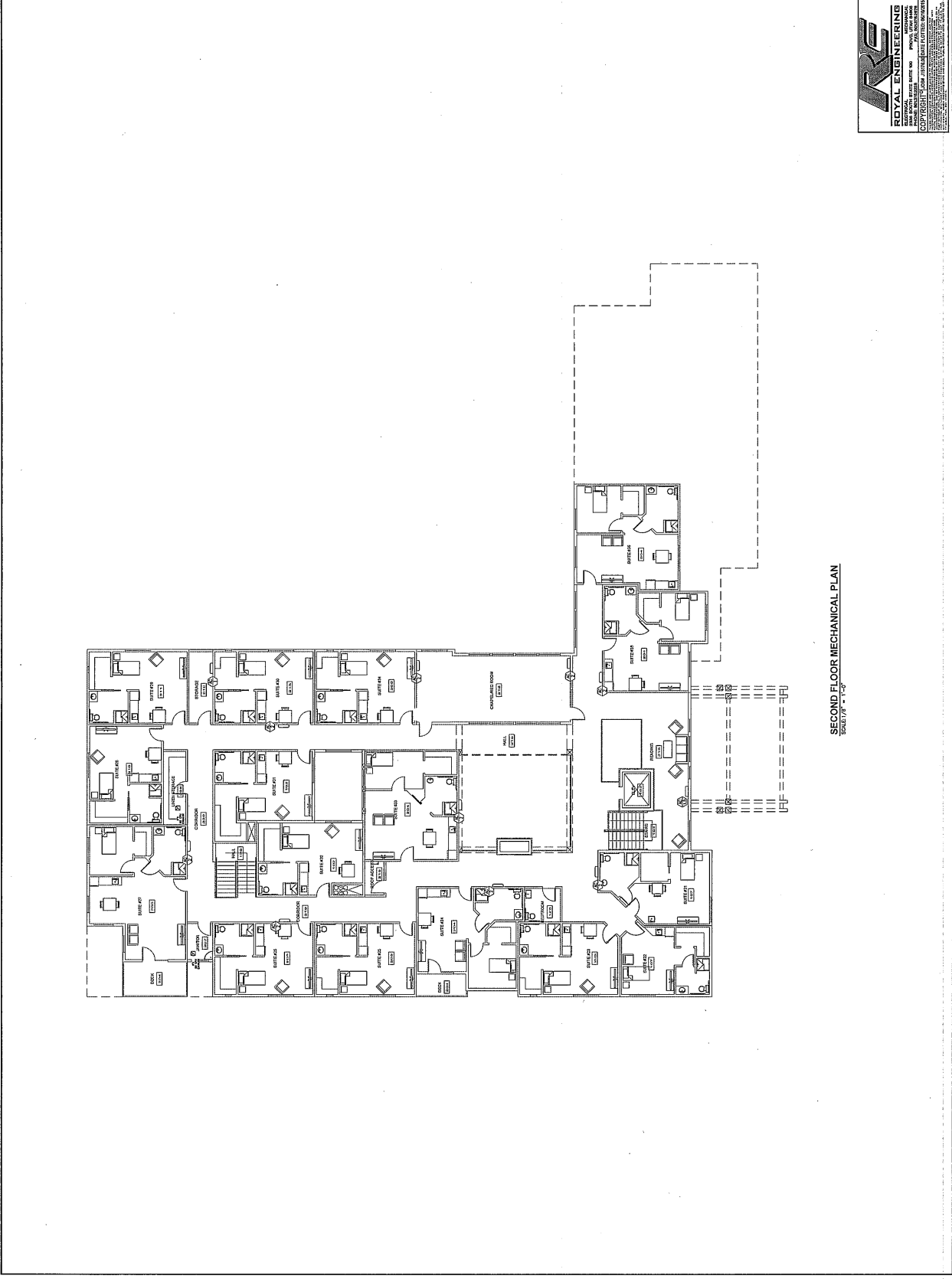
aeurbia architects and engineers
 2825 SOUTH DEWEY LANE, SUITE 200
 SALT LAKE CITY, UTAH 84119
 PHONE: 801.754.6456 FAX: 801.754.6458
 WWW.AEURBIA.COM

PRELIMINARY
 MECHANICAL
 CONSTRUCTION

BLACKSMITH FORK WILLOWS ASSIST. LIVING CTR.
 HYRUM, UTAH

SECOND FLOOR
 MECHANICAL FLOOR
 PLAN

AE2014.048
 REVISIONS
 DRAWN BY: AS
 SCALE: 1/8" = 1'-0"
 SHEET NO. M3.1
 DATE: 07/2014



SECOND FLOOR MECHANICAL PLAN
 SCALE: 1/8" = 1'-0"