

CONCEPT PLAN
COBBLECREEK TOWNHOMES
~230 NORTH 800 EAST
CITY COUNCIL MEETING
JANUARY 18, 2018

Utilities:

All are available in this area. A sewer and irrigation main runs down the West side of the highway. Water and electrical lines are available on the East side of the Highway. The utility layout will be dealt with during the preliminary plat process.

Roads:

These will be private roads within the development. They will need to get a UDOT access permit for this change of use.

Signage:

They will have an entrance sign.

HOA: There needs to be a discussion on how this will be governed. What is the expected monthly fee? Is this development big enough to provide the HOA fees for the future? (Already the Blacksmith Fork Villas is telling the city they can't raise the needed funds to maintain their HOA. This HOA has the same number of units.) Jake gave me a copy of the operating balance for a 52-unit HOA he manages. (See attachment) He is coming prepared to talk about what he thinks the appropriate HOA fee is for this development. He has agreed to provide \$400 at the initial sale of each unit to be deposited into the HOA account so they will have some reserves before they even get started. He has also agreed to add a requirement that with each subsequent resale that \$200 will be required to be deposited into the HOA account.

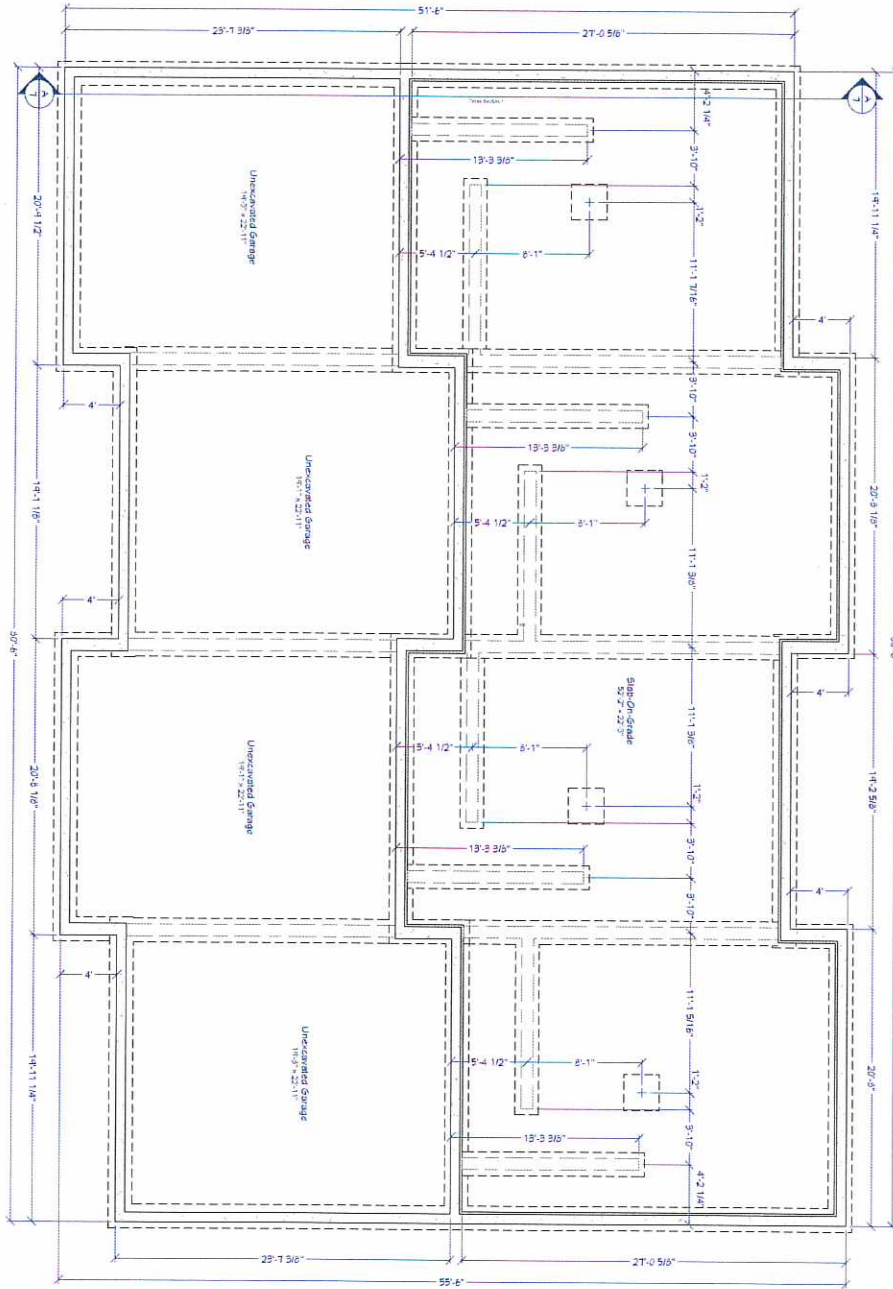
Landscaping:

To meet multi-family code requirements. Full plan to be submitted with the preliminary plat.

Other:

The layout was to be changed, as per conversation with the Planning Commission last month by putting the larger park in the back, determine iron fence location with examples (pictures shown), more detail for buildings- elevations/pictures, added parking, landscape areas by the buildings, dumpster plans, etc. With these changes the Planning Commission is recommending approval layout with the following conditions: The HOA be funded with \$400 from initial sale & \$200 from future resales, rod iron fence, with matching rock, be installed across the front and sides down to the beginning of the buildings with vinyl fence around the remained of the development.





Foundation plan
Scale: 1/4" = 1'

DO NOT SCALE 11"X17" PRINTS
THEY ARE NOT TO SCALE

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PAGE #

DATE:
1/9/2018

TITLE:

Foundation plan

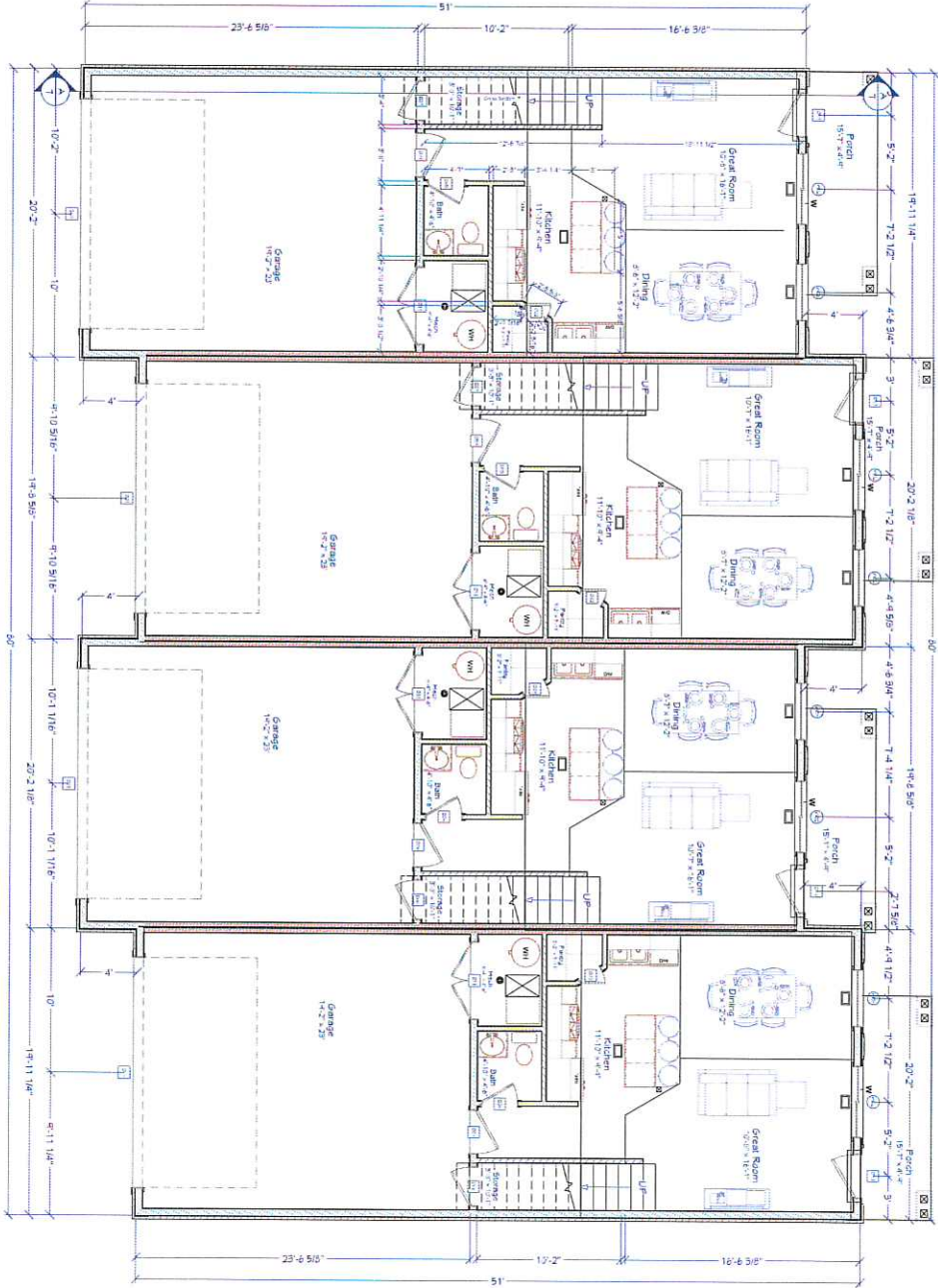
PROJECT FOR:

Cobblecreek Town Homes



OWNER: JAY L. BAIR
PHONE: (435)770-8636
EMAIL: jay@bairdesigns.com
WEB: bairdesigns.com
336 SUNBURST LN. ©
RICHMOND, UT, 84333

NUMBERS	ACTY	FL	CON	MASTER ROOM SCHEDULE	NO	NUMBERS
D01	1	1	1	10'0" x 11'0" IN	10'0" x 11'0" IN	D01
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D100	1	1	1	10'0" x 11'0" IN	10'0" x 11'0" IN	D100



ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
 ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
 ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR R-13+10
 ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
 ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD INSULATION WITH A MINIMUM OF R-10. 4 FT (GARAGES EXCLUDED)
 ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49

Each unit 461 sq. ft.
 Main floor total 1,844 sq. ft.
 Scale: 1/4" = 1'

DO NOT SCALE 11" X 17" PRINTS
THEY ARE NOT TO SCALE

DATE: 1/9/2018
 PAGE # 3

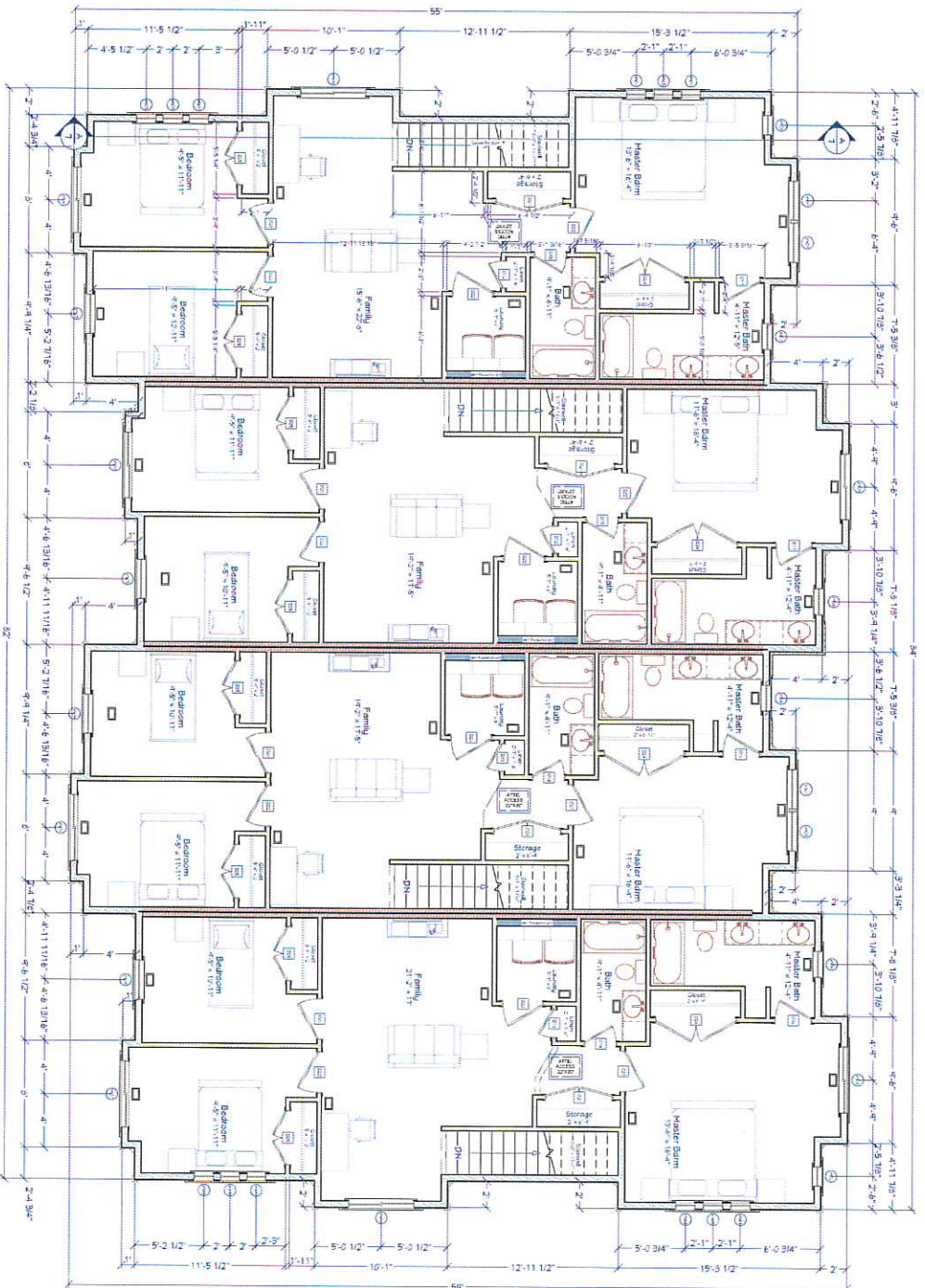
TITLE: Main floor plan

PROJECT FOR: Cobblecreek Town Homes

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 EMAIL: jay@bairdesigns.com
 WEB: bairdesigns.com
 336 SUNBURST LN. ©
 RICHMOND, UT, 84333



NUMBER	FLOOR	SIZE	MASTER FLOOR SCHEDULE	ROOM	NUMBER
D01	1	11'-0" x 11'-0"	11'-0" x 11'-0" LIN	HALLWAY	D01
D02	1	11'-0" x 11'-0"	11'-0" x 11'-0" LIN	HALLWAY	D02
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D97	1	11'-0" x 11'-0"	11'-0" x 11'-0" LIN	HALLWAY	D97
D98	1	11'-0" x 11'-0"	11'-0" x 11'-0" LIN	HALLWAY	D98
D99	1	11'-0" x 11'-0"	11'-0" x 11'-0" LIN	HALLWAY	D99
D100	1	11'-0" x 11'-0"	11'-0" x 11'-0" LIN	HALLWAY	D100



Each end unit 1,102 sq.ft. Second floor total 4,372 sq.ft. Each middle unit 1,084 sq.ft.

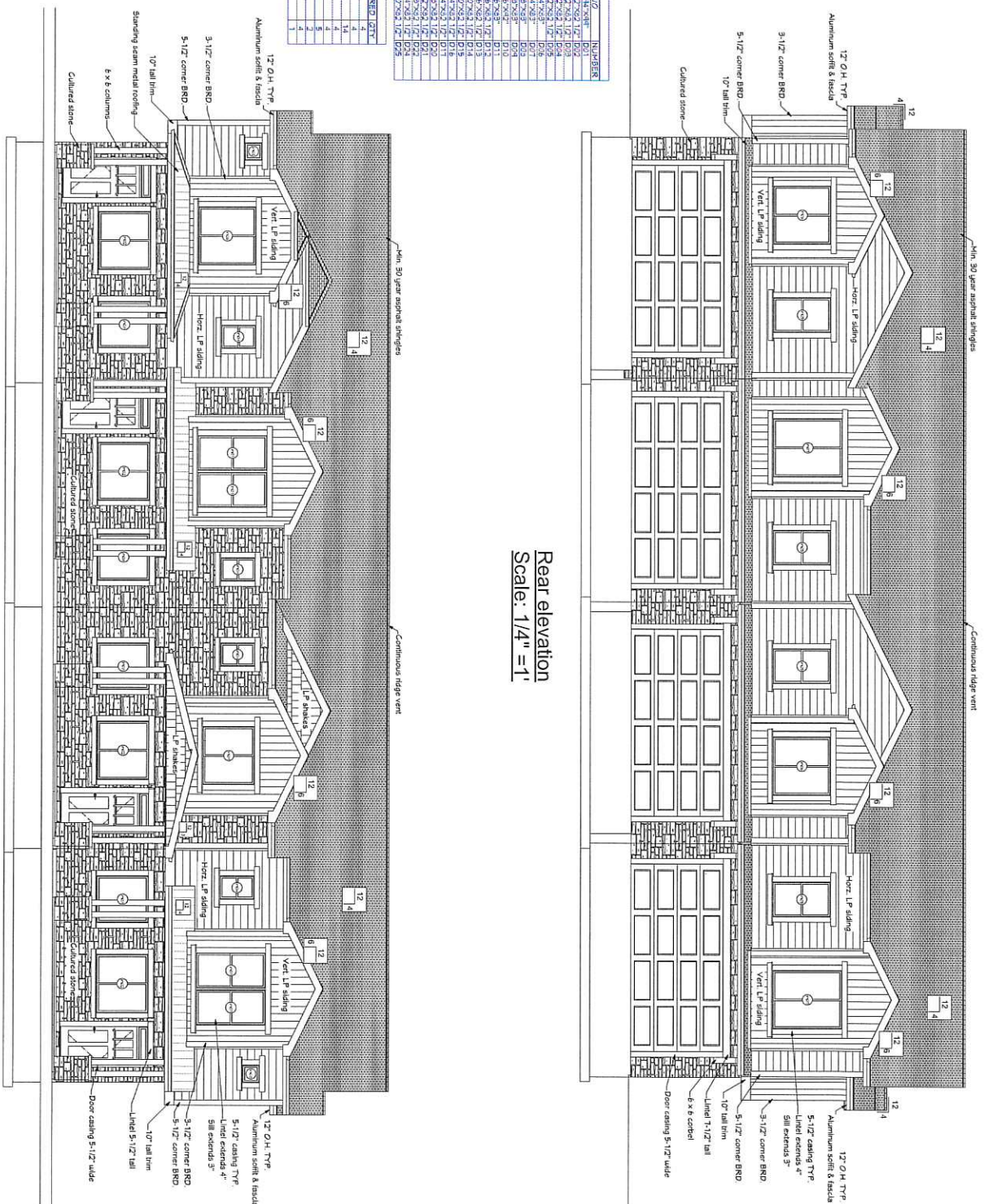
Scale: 1/4" = 1'

ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
 ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
 ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR R-30
 ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD INSULATION WITH A MINIMUM OF R-10.4 FT (GARAGES EXCLUDED)
 ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49

DO NOT SCALE ARCHITECTURAL ELEMENTS
 DIMENSIONS NOT TO SCALE



NUMBER	QTY	DESCRIPTION	UNIT	AMOUNT	DATE
D1	1	12" O.H. TYP	LN	1	1/2/18
D2	1	Aluminum soffit & fascia	LN	1	1/2/18
D3	1	5-1/2" casing TYP	LN	1	1/2/18
D4	1	Lintel extends 4"	LN	1	1/2/18
D5	1	Sill extends 3"	LN	1	1/2/18
D6	1	10" tall trim	LN	1	1/2/18
D7	1	3-1/2" corner BRD	LN	1	1/2/18
D8	1	5-1/2" corner BRD	LN	1	1/2/18
D9	1	10" tall trim	LN	1	1/2/18
D10	1	12" O.H. TYP	LN	1	1/2/18
D11	1	Aluminum soffit & fascia	LN	1	1/2/18
D12	1	5-1/2" casing TYP	LN	1	1/2/18
D13	1	Lintel extends 4"	LN	1	1/2/18
D14	1	Sill extends 3"	LN	1	1/2/18
D15	1	10" tall trim	LN	1	1/2/18
D16	1	3-1/2" corner BRD	LN	1	1/2/18
D17	1	5-1/2" corner BRD	LN	1	1/2/18
D18	1	10" tall trim	LN	1	1/2/18
D19	1	12" O.H. TYP	LN	1	1/2/18
D20	1	Aluminum soffit & fascia	LN	1	1/2/18
D21	1	5-1/2" casing TYP	LN	1	1/2/18
D22	1	Lintel extends 4"	LN	1	1/2/18
D23	1	Sill extends 3"	LN	1	1/2/18
D24	1	10" tall trim	LN	1	1/2/18
D25	1	3-1/2" corner BRD	LN	1	1/2/18
D26	1	5-1/2" corner BRD	LN	1	1/2/18
D27	1	10" tall trim	LN	1	1/2/18
D28	1	12" O.H. TYP	LN	1	1/2/18
D29	1	Aluminum soffit & fascia	LN	1	1/2/18
D30	1	5-1/2" casing TYP	LN	1	1/2/18
D31	1	Lintel extends 4"	LN	1	1/2/18
D32	1	Sill extends 3"	LN	1	1/2/18
D33	1	10" tall trim	LN	1	1/2/18
D34	1	3-1/2" corner BRD	LN	1	1/2/18
D35	1	5-1/2" corner BRD	LN	1	1/2/18
D36	1	10" tall trim	LN	1	1/2/18
D37	1	12" O.H. TYP	LN	1	1/2/18
D38	1	Aluminum soffit & fascia	LN	1	1/2/18
D39	1	5-1/2" casing TYP	LN	1	1/2/18
D40	1	Lintel extends 4"	LN	1	1/2/18
D41	1	Sill extends 3"	LN	1	1/2/18
D42	1	10" tall trim	LN	1	1/2/18
D43	1	3-1/2" corner BRD	LN	1	1/2/18
D44	1	5-1/2" corner BRD	LN	1	1/2/18
D45	1	10" tall trim	LN	1	1/2/18
D46	1	12" O.H. TYP	LN	1	1/2/18
D47	1	Aluminum soffit & fascia	LN	1	1/2/18
D48	1	5-1/2" casing TYP	LN	1	1/2/18
D49	1	Lintel extends 4"	LN	1	1/2/18
D50	1	Sill extends 3"	LN	1	1/2/18
D51	1	10" tall trim	LN	1	1/2/18
D52	1	3-1/2" corner BRD	LN	1	1/2/18
D53	1	5-1/2" corner BRD	LN	1	1/2/18
D54	1	10" tall trim	LN	1	1/2/18
D55	1	12" O.H. TYP	LN	1	1/2/18
D56	1	Aluminum soffit & fascia	LN	1	1/2/18
D57	1	5-1/2" casing TYP	LN	1	1/2/18
D58	1	Lintel extends 4"	LN	1	1/2/18
D59	1	Sill extends 3"	LN	1	1/2/18
D60	1	10" tall trim	LN	1	1/2/18
D61	1	3-1/2" corner BRD	LN	1	1/2/18
D62	1	5-1/2" corner BRD	LN	1	1/2/18
D63	1	10" tall trim	LN	1	1/2/18
D64	1	12" O.H. TYP	LN	1	1/2/18
D65	1	Aluminum soffit & fascia	LN	1	1/2/18
D66	1	5-1/2" casing TYP	LN	1	1/2/18
D67	1	Lintel extends 4"	LN	1	1/2/18
D68	1	Sill extends 3"	LN	1	1/2/18
D69	1	10" tall trim	LN	1	1/2/18
D70	1	3-1/2" corner BRD	LN	1	1/2/18
D71	1	5-1/2" corner BRD	LN	1	1/2/18
D72	1	10" tall trim	LN	1	1/2/18
D73	1	12" O.H. TYP	LN	1	1/2/18
D74	1	Aluminum soffit & fascia	LN	1	1/2/18
D75	1	5-1/2" casing TYP	LN	1	1/2/18
D76	1	Lintel extends 4"	LN	1	1/2/18
D77	1	Sill extends 3"	LN	1	1/2/18
D78	1	10" tall trim	LN	1	1/2/18
D79	1	3-1/2" corner BRD	LN	1	1/2/18
D80	1	5-1/2" corner BRD	LN	1	1/2/18
D81	1	10" tall trim	LN	1	1/2/18
D82	1	12" O.H. TYP	LN	1	1/2/18
D83	1	Aluminum soffit & fascia	LN	1	1/2/18
D84	1	5-1/2" casing TYP	LN	1	1/2/18
D85	1	Lintel extends 4"	LN	1	1/2/18
D86	1	Sill extends 3"	LN	1	1/2/18
D87	1	10" tall trim	LN	1	1/2/18
D88	1	3-1/2" corner BRD	LN	1	1/2/18
D89	1	5-1/2" corner BRD	LN	1	1/2/18
D90	1	10" tall trim	LN	1	1/2/18
D91	1	12" O.H. TYP	LN	1	1/2/18
D92	1	Aluminum soffit & fascia	LN	1	1/2/18
D93	1	5-1/2" casing TYP	LN	1	1/2/18
D94	1	Lintel extends 4"	LN	1	1/2/18
D95	1	Sill extends 3"	LN	1	1/2/18
D96	1	10" tall trim	LN	1	1/2/18
D97	1	3-1/2" corner BRD	LN	1	1/2/18
D98	1	5-1/2" corner BRD	LN	1	1/2/18
D99	1	10" tall trim	LN	1	1/2/18
D100	1	12" O.H. TYP	LN	1	1/2/18



Rear elevation
Scale: 1/4" = 1'

Front elevation
Scale: 1/4" = 1'

DO NOT SCALE & 11 X17 PRINTS
THEY ARE NOT TO SCALE

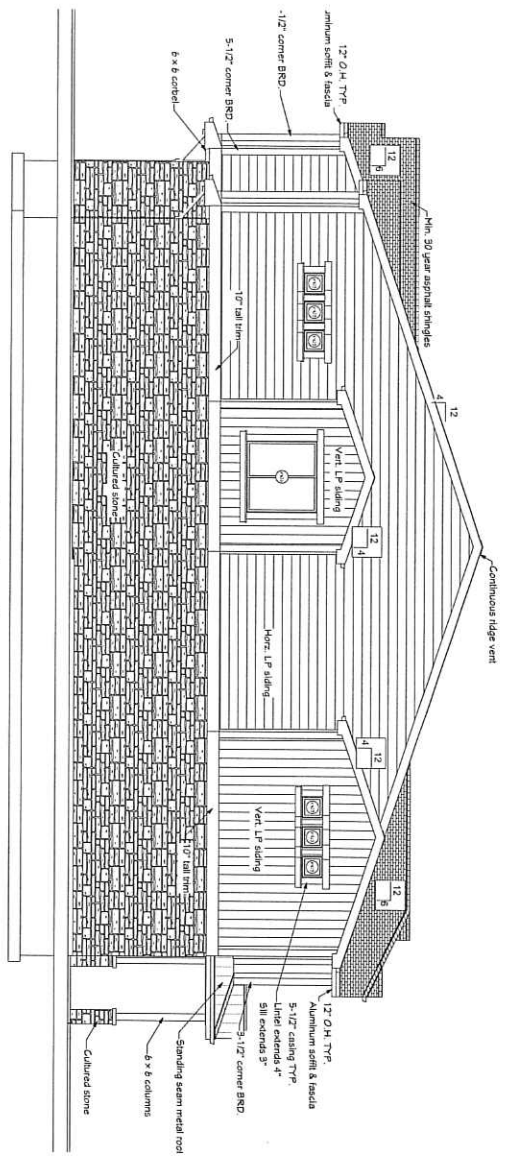
DATE:
1/9/2018

TITLE:
Elevations

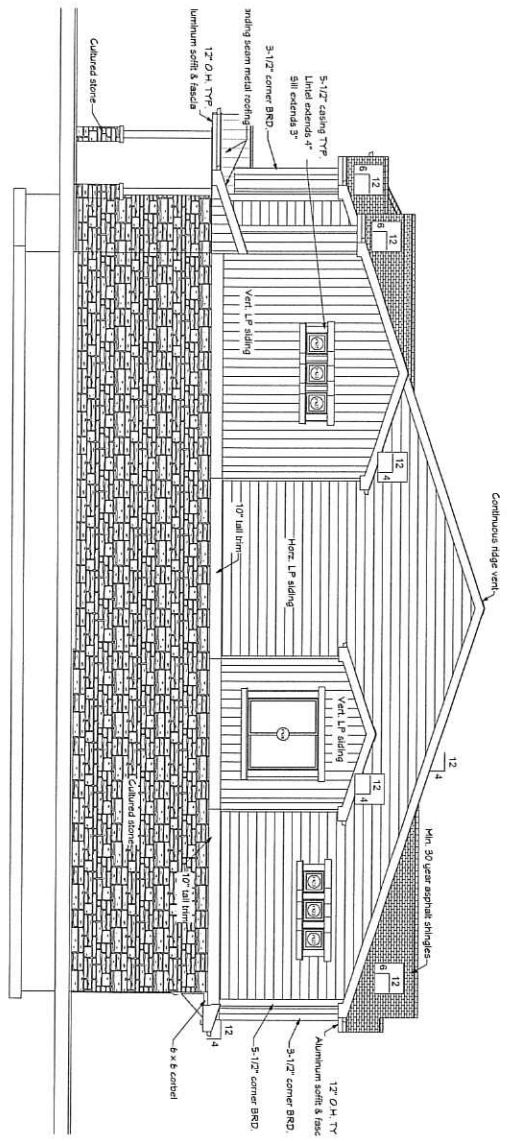
PROJECT FOR:
Cobblecreek Town Homes

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EMAIL: jay@bairdesigns.com
WEB: bairdesigns.com
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Left elevation
Scale 1/4" = 1'



Right elevation
Scale 1/4" = 1'

NUMBER	QTY	FINISH	SIZE	DIMENSIONS	NO.	NUMBER
D01	1	1/2\"/>	12\"/>	12\"/>	1	D01
D02	1	1/2\"/>	12\"/>	12\"/>	1	D02
D03	1	1/2\"/>	12\"/>	12\"/>	1	D03
D04	1	1/2\"/>	12\"/>	12\"/>	1	D04
D05	1	1/2\"/>	12\"/>	12\"/>	1	D05
D06	1	1/2\"/>	12\"/>	12\"/>	1	D06
D07	1	1/2\"/>	12\"/>	12\"/>	1	D07
D08	1	1/2\"/>	12\"/>	12\"/>	1	D08
D09	1	1/2\"/>	12\"/>	12\"/>	1	D09
D10	1	1/2\"/>	12\"/>	12\"/>	1	D10
D11	1	1/2\"/>	12\"/>	12\"/>	1	D11
D12	1	1/2\"/>	12\"/>	12\"/>	1	D12
D13	1	1/2\"/>	12\"/>	12\"/>	1	D13
D14	1	1/2\"/>	12\"/>	12\"/>	1	D14
D15	1	1/2\"/>	12\"/>	12\"/>	1	D15
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D20	1	1/2\"/>	12\"/>	12\"/>	1	D20
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D22	1	1/2\"/>	12\"/>	12\"/>	1	D22
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D26	1	1/2\"/>	12\"/>	12\"/>	1	D26
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D28	1	1/2\"/>	12\"/>	12\"/>	1	D28
D29	1	1/2\"/>	12\"/>	12\"/>	1	D29
D30	1	1/2\"/>	12\"/>	12\"/>	1	D30
D31	1	1/2\"/>	12\"/>	12\"/>	1	D31
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D34	1	1/2\"/>	12\"/>	12\"/>	1	D34
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D37	1	1/2\"/>	12\"/>	12\"/>	1	D37
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D41	1	1/2\"/>	12\"/>	12\"/>	1	D41
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D44	1	1/2\"/>	12\"/>	12\"/>	1	D44
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D46	1	1/2\"/>	12\"/>	12\"/>	1	D46
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D48	1	1/2\"/>	12\"/>	12\"/>	1	D48
D49	1	1/2\"/>	12\"/>	12\"/>	1	D49
D50	1	1/2\"/>	12\"/>	12\"/>	1	D50

DO NOT SCALE 11\"/>

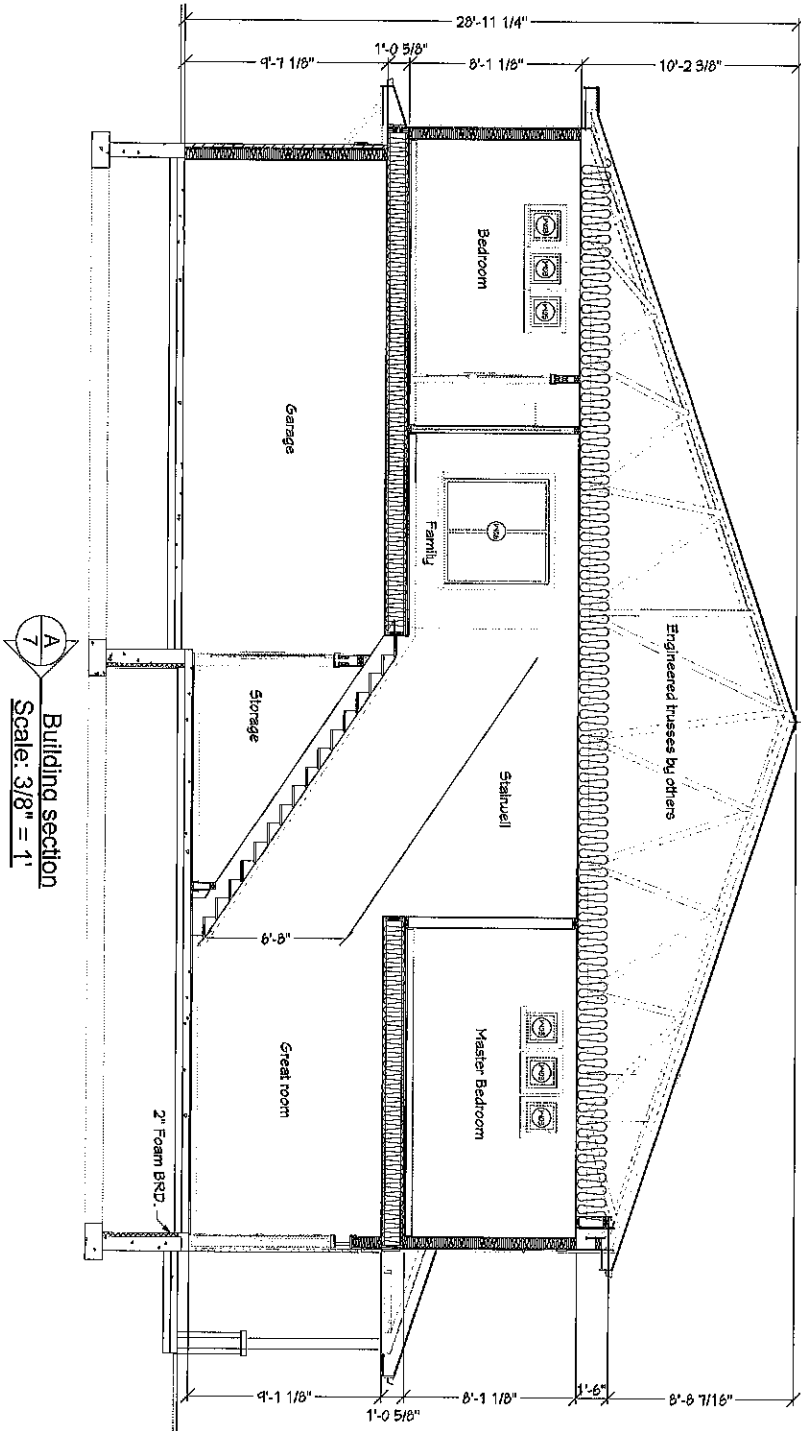
DATE: 1/9/2018
PAGE # 6

TITLE: Elevations

PROJECT FOR: Cobblecreek Town Homes



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A
7
 Building section
 Scale: 3/8" = 1'

DO NOT SCALE FROM PRINTS
 USE DIMENSIONS TO SCALE

DATE:
 1/9/2018
 PAGE #
 7

TITLE:
 Building section

PROJECT FOR:
 Cobblecreek Town Homes



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DO NOT SCALE 11"x17" PRINTS
THEY ARE NOT TO SCALE

8

PAGE #

DATE:
4/9/2018

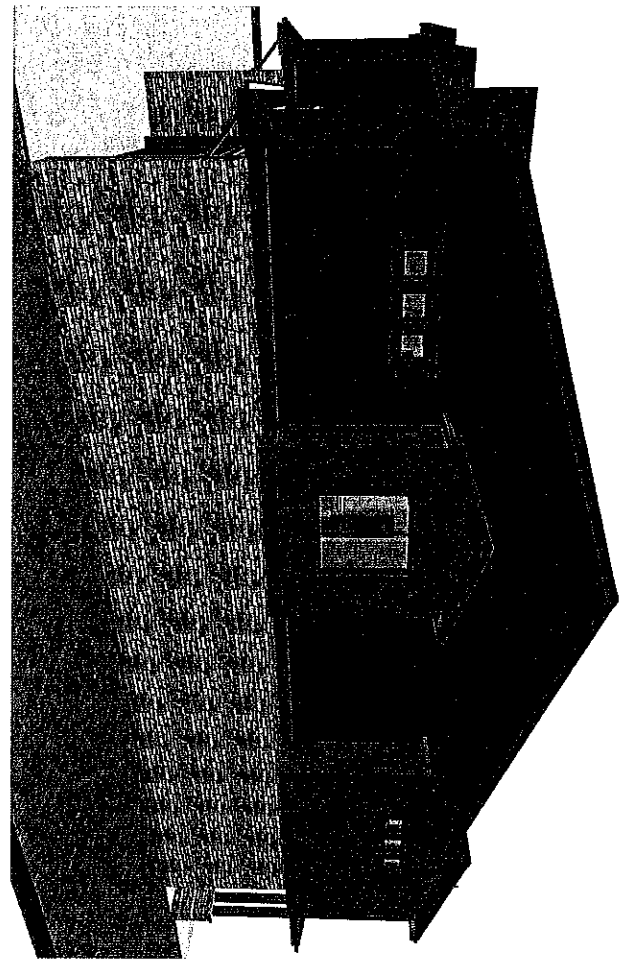
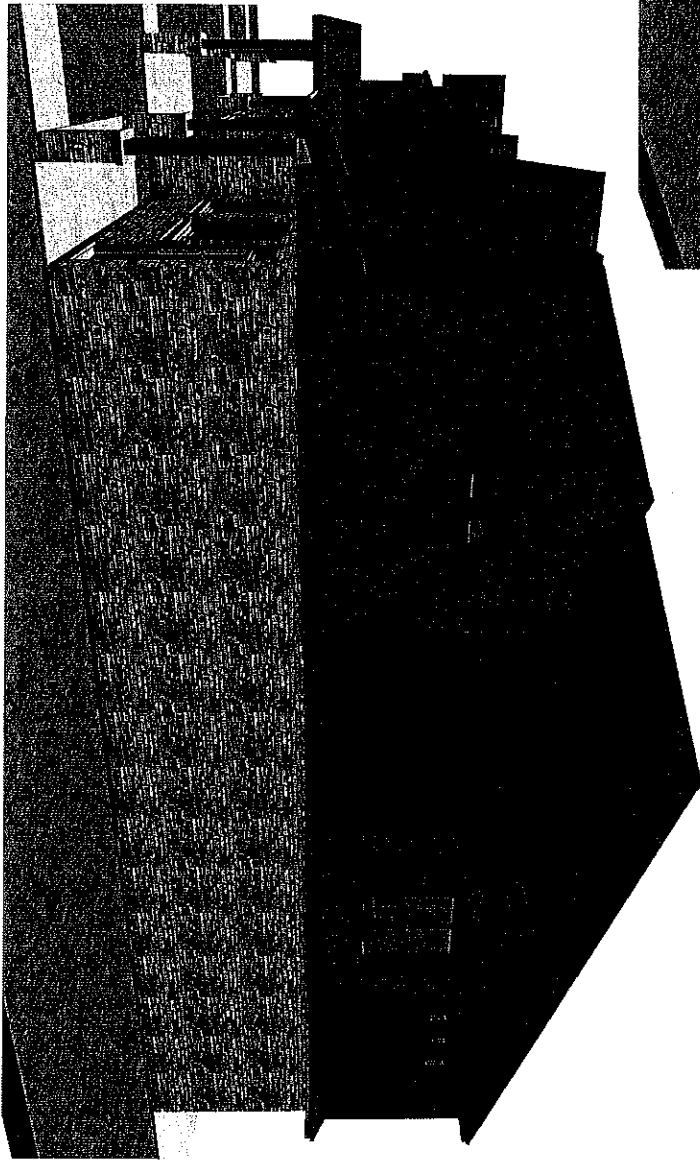
TITLE:

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DO NOT SCALE ARCHIT. PRINTS
REF. TO SCALE

9

PAGE #

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