

FINAL PLAT
COBBLECREEK TOWNHOMES
~230 NORTH 800 EAST
CITY COUNCIL MEETING
JUNE 6, 2019

Utilities:

All are available in this area. A sewer and irrigation main runs down the West side of the highway. Water and electrical lines are available on the East side of the Highway.

Roads:

These will be private roads within the development. They will need to complete a UDOT access permit for this change of use. The Preliminary approval has been accomplished.

Signage:

They will have an entrance sign. (Stucco covered wood frame is proposed)

Fencing: Vinyl fence around the North & South sides of the development. West of Townhomes will be a decorative fence between commercial and residential space.

Landscaping:

To meet multi-family code requirements. 1 Tree per 1000 sq. ft. Playground equipment required. (More than 12 units)

HOA: See attachment sample.

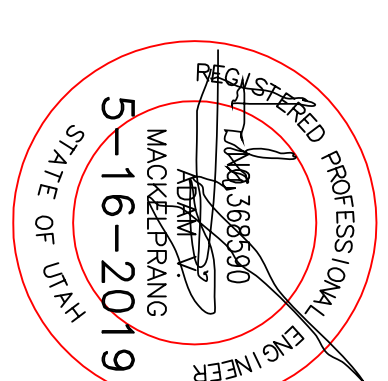
Other:

They will also be demolishing the one row of storage units on this parcel of property. The commercial pads will be left open until a business to come to this location. Site Plan approval will be requested at that time specific to what is proposed. Until the commercial property is developed, the property owner has agreed to maintain some lawn and keep this area groomed. The Planning Commission recommended the City work with the owner to provide irrigation priced water while this commercial property is temporarily cared for. Final clarification will be needed on the UHAUL business. The indication was that this business was not going to continue at this location.

COBBLECREEK TOWNHOMES

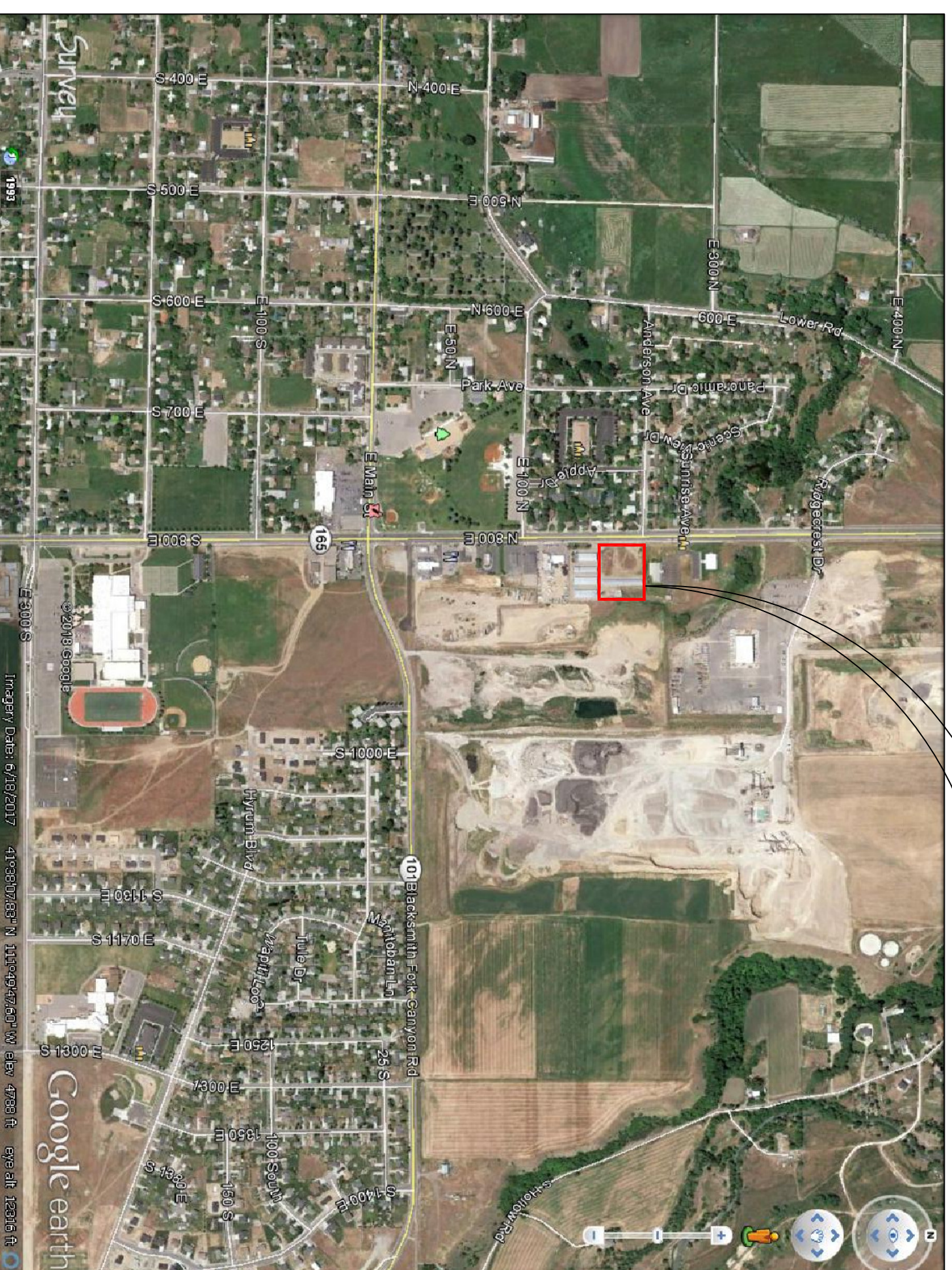
PART OF THE NORTH EAST QUARTER OF SECTION 10
TOWNSHIP 10 NORTH RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
226 NORTH, 800 EAST
HYRUM, UTAH

INDEX SHEET



SHEET NO.	SHEET DESCRIPTION
1	INDEX SHEET
2	EXISTING SITE
3	HIGHWAY 165 CONSTRUCTION PLAN
4	SITE PLAN
5	LANDSCAPE PLAN
6	UTILITY PLAN
7	DRAINAGE PLAN

PROJECT



VICINITY MAP

OWNER/DEVELOPER
JAKE THOMPSON
435-764-2418

CIVIL ENGINEER
ALLIANCE CONSULTING ENGINEERS, INC.
150 EAST 200 NORTH SUITE P
LOGAN, UTAH 84321
435-755-5121

CITY ENGINEER
CRAIG NEELEY
AQUA ENGINEERING INC.
533 WEST 2600 SOUTH
BOUNTIFUL, UTAH 84010
(801) 299-1327

CITY ENGINEER APPROVAL
I CERTIFY THAT I HAVE EXAMINED THIS PLAN AND FIND IT TO BE IN GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER _____ DATE _____

- GENERAL NOTES (APPLICABLE TO ALL CIVIL SHEETS):
1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, CITY OF HYRUM STANDARDS, STATE OF UTAH AND ANY OTHER APPLICABLE STANDARDS ISSUED BY THE CONTROLLING AGENCY.
 2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN ON THE PLANS AND FIELD MEASUREMENTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER. ANY WORK DONE WITHOUT VERIFICATION IS DONE SO AT THE CONTRACTOR'S RISK AND EXPENSE IF ERRORS OCCUR.
 3. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION.
 4. CONTRACTOR SHALL MAINTAIN ALL ADJACENT PROPERTY (PUBLIC & PRIVATE) FROM ALL CONSTRUCTION DEBRIS.
 5. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION FROM ALL NEW CONSTRUCTION TO EXISTING CONDITIONS.
 6. CONTRACTOR SHALL PROVIDE ALL NECESSARY AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES.
 7. CONTRACTOR SHALL REPLACE SURVEY MONUMENTS DAMAGED DURING CONSTRUCTION. SURVEY MONUMENTS TO BE REPLACED BY A REGISTERED, LICENSED LAND SURVEYOR.
 8. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, INCLUDING FIBER OPTIC. ANY DAMAGES TO EXISTING UTILITIES WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.
 9. DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPELINE UNLESS OTHERWISE NOTED.
 10. DISTANCES SHOWN ALONG PIPELINES ARE HORIZONTAL DISTANCES AND NOT ACTUAL PIPE LENGTHS. MORE PIPE MAY BE REQUIRED TO COMPLETE CONSTRUCTION THAN IS DIMENSIONED IN THE PLANS.
 11. THRUST BLOCKS SHALL BE PLACED ON WATERLINES AT ALL DIRECTION CHANGES, FITTINGS, BENDS, ELBOWS, FIRE HYDRANTS AND GATE VALVES AS SHOWN IN THE PROJECT PLANS.
 12. CONTRACTOR IS REQUIRED TO HAVE A SET OF PLANS ON THE SITE AT ALL TIMES. ANY WORK COMPLETED WITHOUT A SET PRESENT IS DONE SO AT THE CONTRACTOR'S RISK AND EXPENSE IF ERRORS OCCUR.
 13. CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER NECESSARY FOR DUST ABEATEMENT, COMPACTION, ETC.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SOURCES FOR GRANULAR MATERIALS, WYOMING STATES, AND ANY OTHER MATERIALS SOURCES AS REQUIRED FOR PROJECT COMPLETION.
 15. ANY WORK DONE WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TRANSPORTATION AGENCY AND SHALL MEET THE REQUIREMENTS OF THAT AGENCY AND THE REQUIREMENTS OF ANY RIGHT-OF-WAY OR SPECIAL USE PERMITS.
 16. THE CONTRACTOR SHALL COORDINATE ALL LIVE TAPS AND ANY OTHER WORK OR MANIPULATION OF THE EXISTING WATER SYSTEM WITH THE CITY.
 17. ON SLOPING AREAS THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MITIGATE ANY POSSIBLE EROSION PROBLEMS IN THE TRENCHES DUE TO STORM WATER THAT MIGHT OCCUR DURING OR AFTER CONSTRUCTION AS DIRECTED OR APPROVED BY ENGINEER.
 18. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE PROJECT PLANS UNTIL FINAL ACCEPTANCE OF THIS PROJECT.
 19. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONS NECESSARY TO INSURE THAT NO STORM WATER/SEDIMENT AND/OR CONSTRUCTION DEBRIS ARE RELEASED FROM THE SITE. ANY RELEASES SHALL BE CLEANED AND MITIGATED AT THE CONTRACTOR'S EXPENSE.
 20. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACCESS AND RELATED TRAFFIC CONTROL WITH THE COUNTY, CITY, AND STATE ROADWAY DEPARTMENTS. THE ENGINEER SHALL REVIEW ALL TRAFFIC CONTROL PLANS.
 21. ALL GATE VALVES SHALL BE LOCATED NEAR TO TEES OR CROSSES AND THEIR ASSOCIATED REDUCERS AS SHOWN ON THE PROJECT PLANS.
 22. ALL WATER MAINS SHALL BE LOCATED NEAR TO TEES OR CROSSES AND THEIR ASSOCIATED REDUCERS AS SHOWN ON THE PROJECT PLANS.
 23. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS, HARDWARE, LABOR, ETC. TO COMPLETED VERTICAL AND HORIZONTAL BENDS AS REQUIRED TO MEET THE REQUIRED SIZES, ALIGNMENTS AND COVER REQUIREMENTS.
 24. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF HYRUM FOR ALL UTILITY INSPECTIONS PRIOR TO BACKFILLING.
 25. ALL WATER SYSTEM COMPONENTS SHALL BE INSTALLED, PRESSURE TESTED, AND CHLORINATED PRIOR TO COMPLETING ANY ROADWAY CONSTRUCTION.
 26. ONE WYAR AND ONE PAPER SET OF AS BUILS SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF PUBLIC IMPROVEMENTS.

REVISION

DATE	BY

AE ALLIANCE CONSULTING ENGINEERS
150 EAST 200 NORTH SUITE P
LOGAN, UTAH 84321

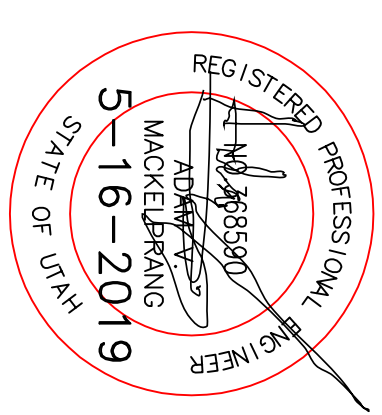
COBBLECREEK TOWNHOMES
INDEX SHEET

PART OF THE NORTH EAST QUARTER OF SECTION 10
TOWNSHIP 10 NORTH RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
226 NORTH, 800 EAST
HYRUM, UTAH

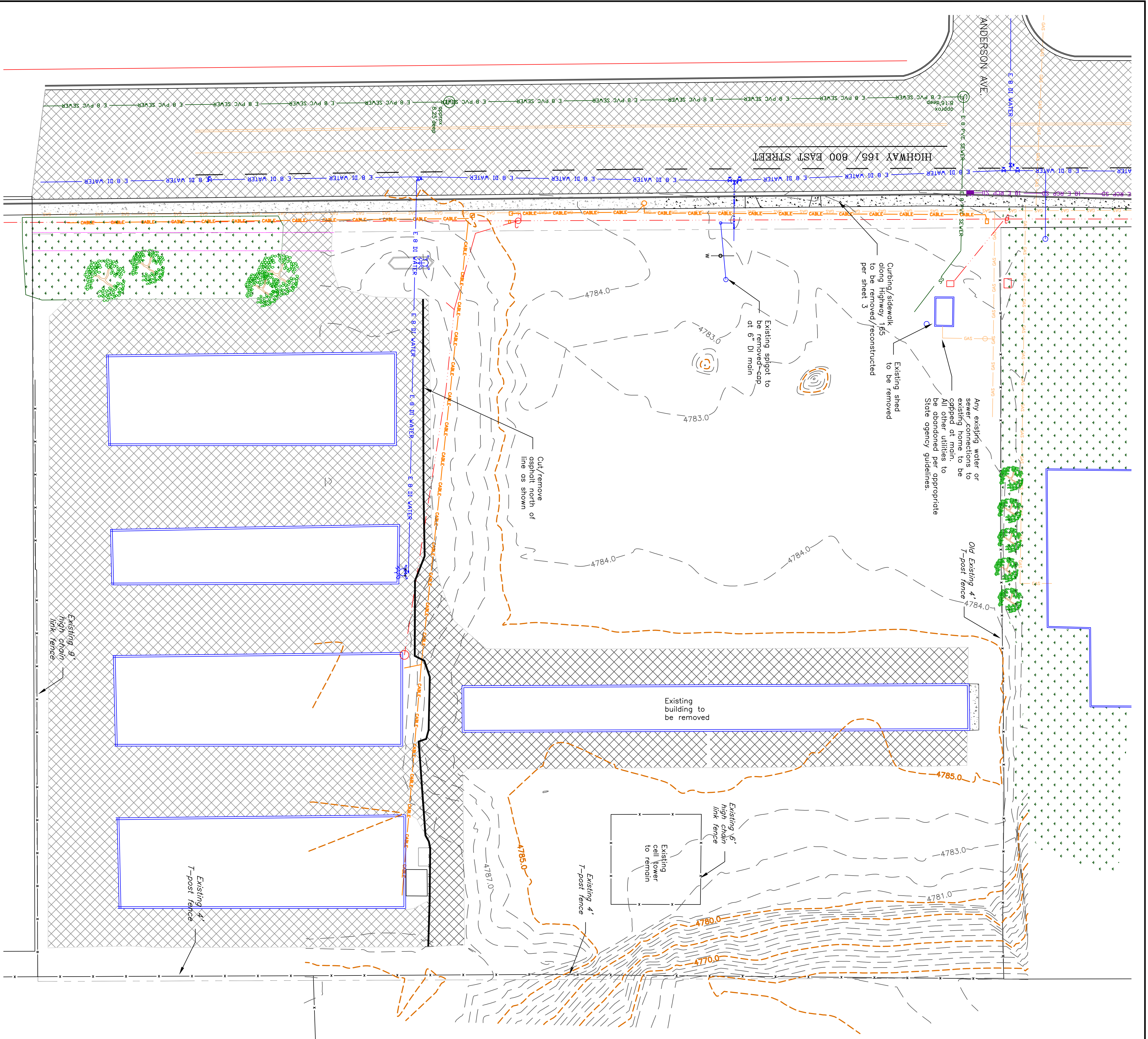
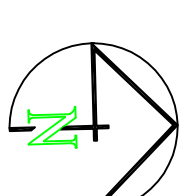
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CHECKED BY: AM
APPROVED BY: BL

DWG DATA: jake@hnavi.dwg
DATE: 5-2019

COBBLECREEK TOWNHOMES
 PART OF THE NORTH EAST QUARTER OF SECTION 10
 TOWNSHIP 10 NORTH RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 226 NORTH, 600 EAST
 HYRUM, UTAH
EXISTING SITE



0 15 30 60
 SCALE: 1" = 30' (22x34 PLAN SET)
 SCALE: 1" = 60' (11x17 PLAN SET)



LEGEND	
	BOUNDARY LINE
	EXISTING WATER
	EXISTING SEWER
	EXISTING FENCE
	EXISTING CABLE/PHONE
	EXISTING POWER
	EXISTING GAS
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING LANDSCAPING

Contractor to verify all utility sizes and types at connection points. The design engineer and City shall be notified immediately of any variations from what is shown on the plans.

REVISION	DATE	BY

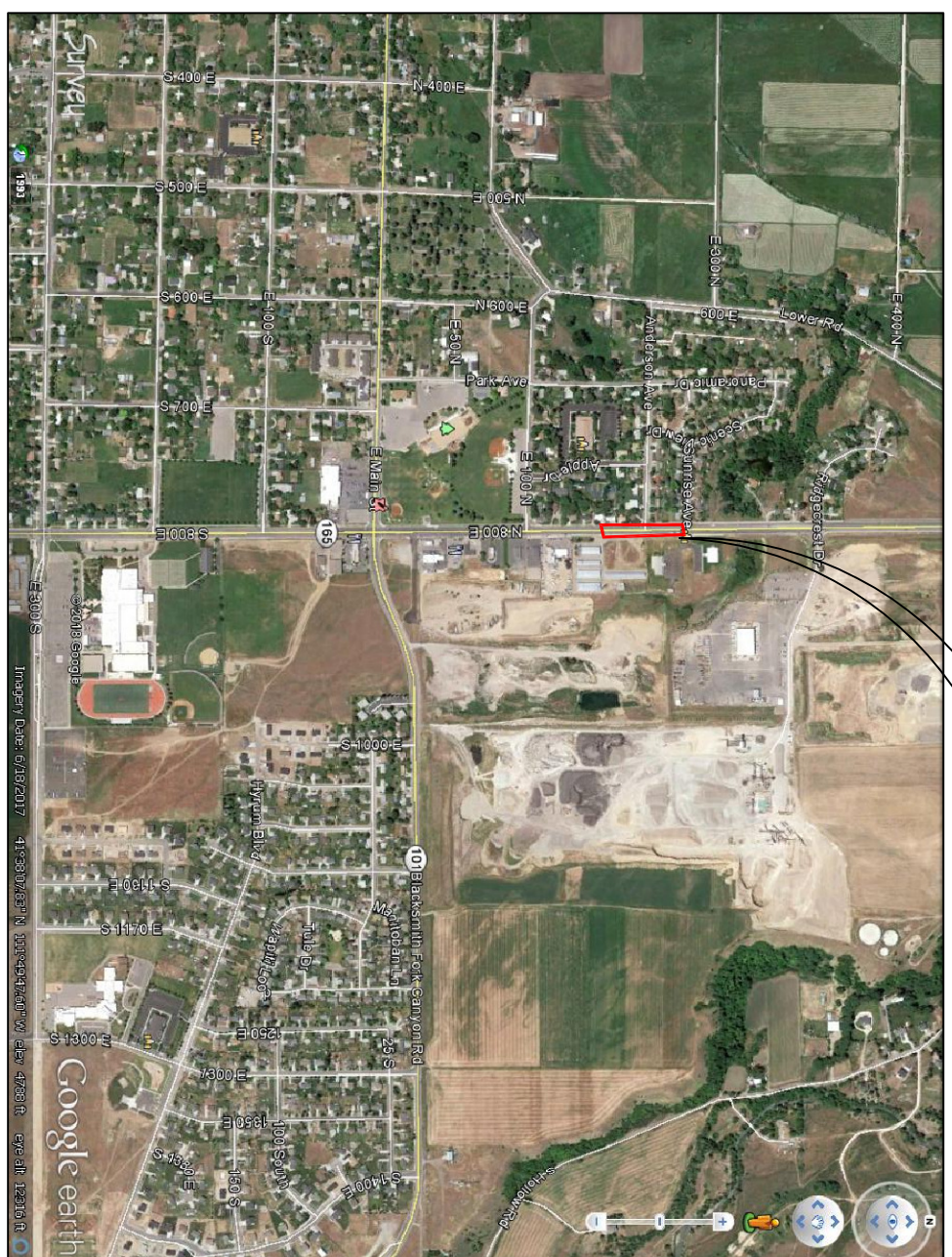
A/E ALLIANCE CONSULTING ENGINEERS
 150 EAST 200 NORTH SUITE P
 LOGAN, UTAH 84321

COBBLECREEK TOWNHOMES EXISTING SITE

PART OF THE NORTH EAST QUARTER OF SECTION 10
 TOWNSHIP 10 NORTH RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 226 NORTH, 600 EAST
 HYRUM, UTAH

SCALE: AS NOTED DRAWN BY: AM CHECKED BY: AM DATE: 5-2019
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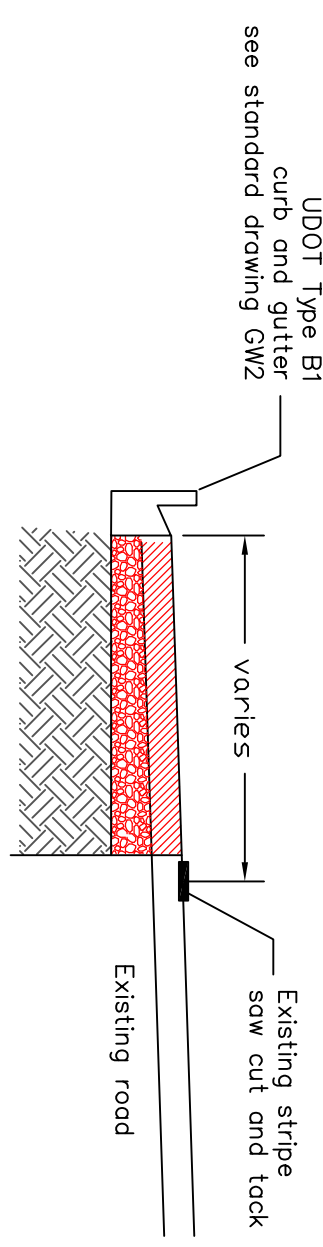
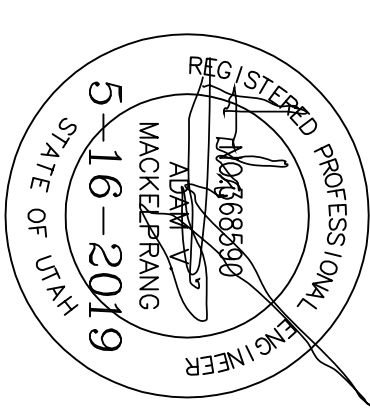
PROJECT



VICINITY MAP

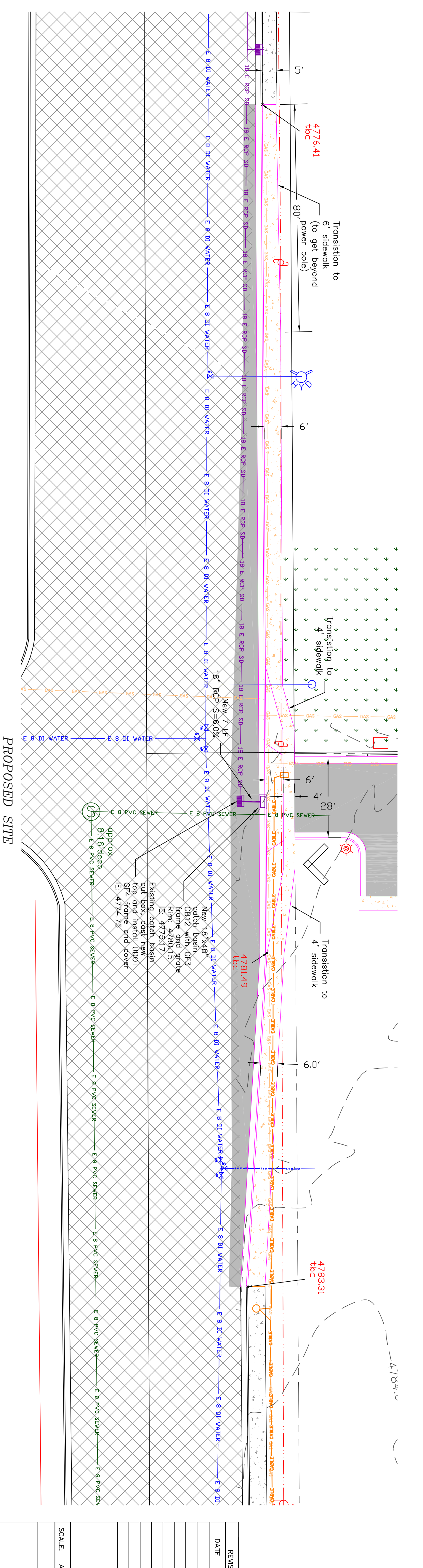
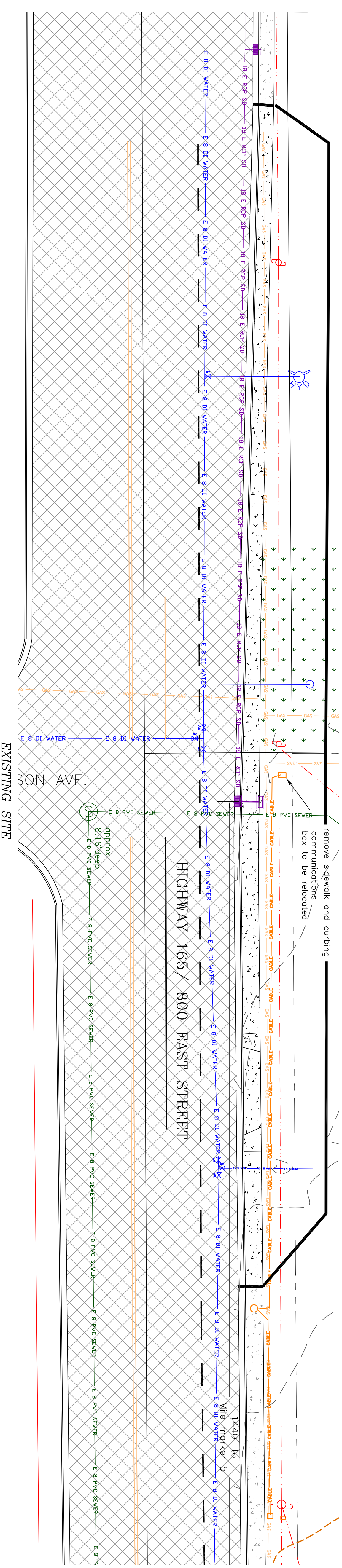
COBBLECREEK TOWNHOMES
 PART OF THE NORTH EAST QUARTER OF SECTION 10
 TOWNSHIP 10 NORTH RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 226 NORTH, 800 EAST
 HYRUM, UTAH

0 10 20 40
 SCALE: 1"=20' (22x34 PLAN SET)
 SCALE: 1"=40' (11x17 PLAN SET)



DRIVEWAY CROSS-SECTION IN STATE RIGHT-OF-WAY
 SEE UDOT STANDARD DRAWING GW4 FOR MORE INFORMATION

NOTE: Minimum asphalt width within UDOT right-of-way is 4 feet.
 The proposed driveway shall be constructed to UDOT standards for
 mix asphalt (TMA), PG-grade 64-34 asphalt binder, 1/2 inch nominal max. 7-7.5-11.5 gradation per UDOT standard
 specification 02741; over 6 inches untreated base course (UTBC) per UDOT specification 02721; over 16 inches granular borrow
 (GB) per UDOT specification 02056 (whichever is greater). Apply tack-coat before asphalt placement. Specify the following
 method of sealing the pavement: Chip Seal Type II with emulsion LMGS-2 per UDOT standard specification 02785 (estimated
 application rate of 0.45 gal/sq yd) is required for this roadway, or at least oil seal government placed within UDOT right-of-way.
 The driveway shall be constructed to UDOT standards for 800 EAST shall be done as per UDOT standards
 of lanes. Sawcuts must be cleaned and a tack-coat applied before asphalt placement.



LEGEND

	SUBDIVISION BOUNDARY LINE
	EXISTING FENCE
	EXISTING CABLE/PHONE
	EXISTING POWER
	EXISTING GAS
	EXISTING WATER
	EXISTING SEWER
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	EXISTING CONCRETE
	NEW CONCRETE
	EXISTING ASPHALT
	NEW ASPHALT

- NOTES**
1. A two day notice is required before any staking will be performed.
 2. Be perform any staking will be the responsibility of the contractor.
 3. There will be a mandatory pre-construction meeting.
 4. The contractor shall keep construction zone free from mud, dirt and debris.
 5. All from mud, dirt and debris, in the R-O-W way of 800 EAST shall be done as per UDOT standards and specifications.
 6. See UDOT standards drawing series GW for all curb and gutter and sidewalk within the UDOT right-of-way.

REVISION	DATE	BY

AE ALLIANCE CONSULTING ENGINEERS
 150 EAST 200 NORTH SUITE P
 LOGAN, UTAH 84321

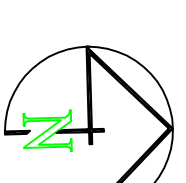
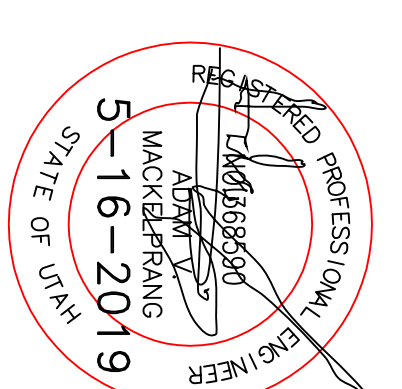
COBBLECREEK TOWNHOMES
 HIGHWAY 165 CONSTRUCTION PLAN

PART OF THE NORTH EAST QUARTER OF SECTION 10
 TOWNSHIP 10 NORTH RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 226 NORTH, 800 EAST
 HYRUM, UTAH

SCALE:	AS NOTED	DRAWN BY:	AM	CHECKED BY:	AM	DATE:	5-2019
		APPROVED BY:	BL	DWG DATA:	prelim.DWG		

COBBLECREEK TOWNHOMES
 PART OF THE NORTH EAST QUARTER OF SECTION 10
 TOWNSHIP 10 NORTH RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 226 NORTH, 800 EAST
 HYRUM, UTAH

SITE PLAN

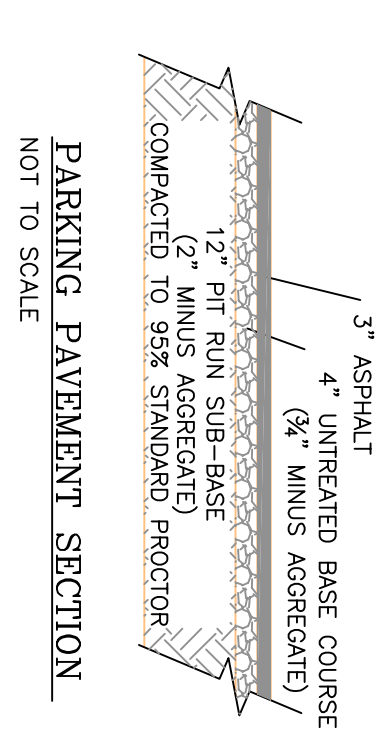
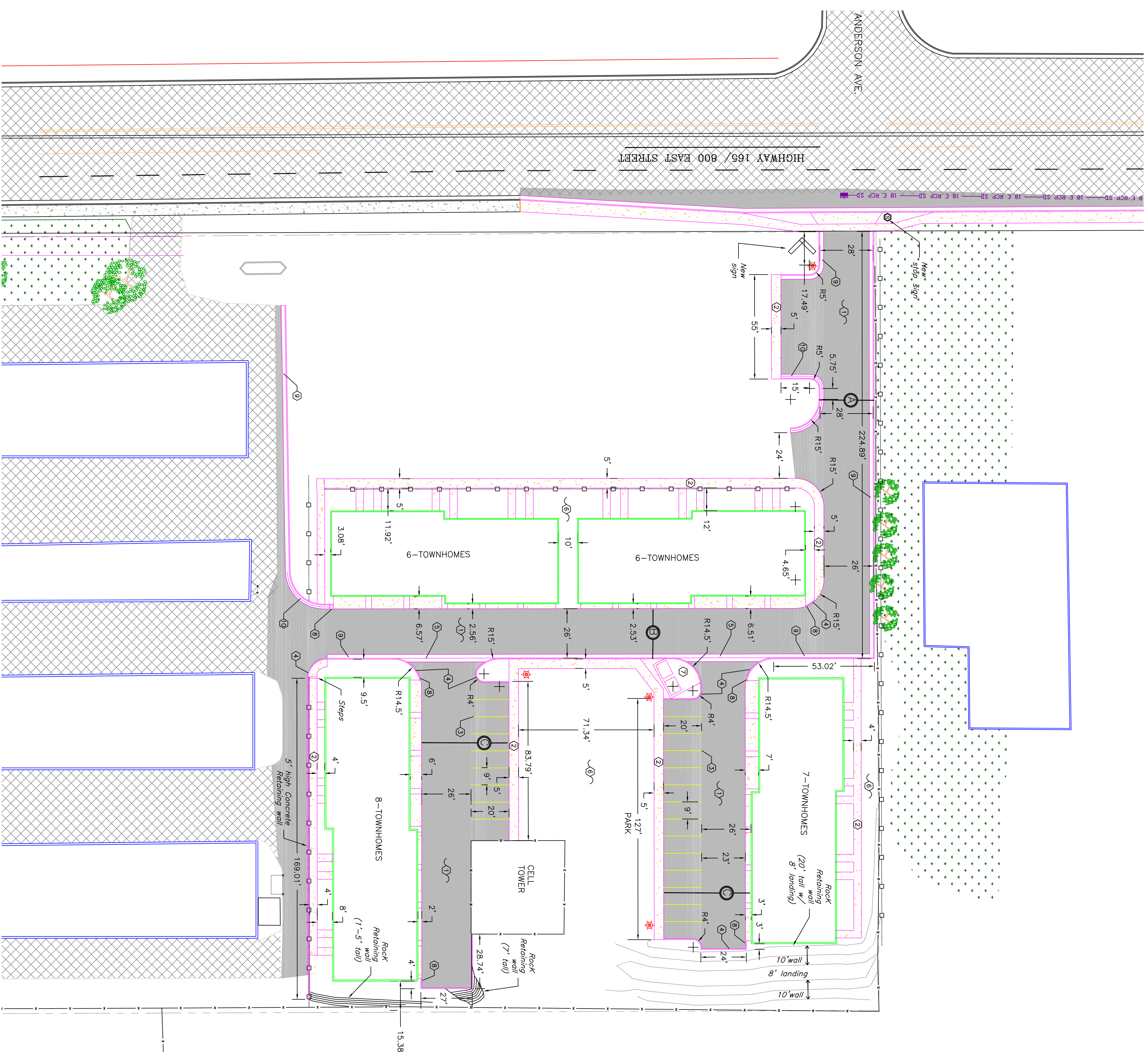


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 SCALE: 1"=30' (22x34 PLAN SET)
 SCALE: 1"=60' (11x17 PLAN SET)

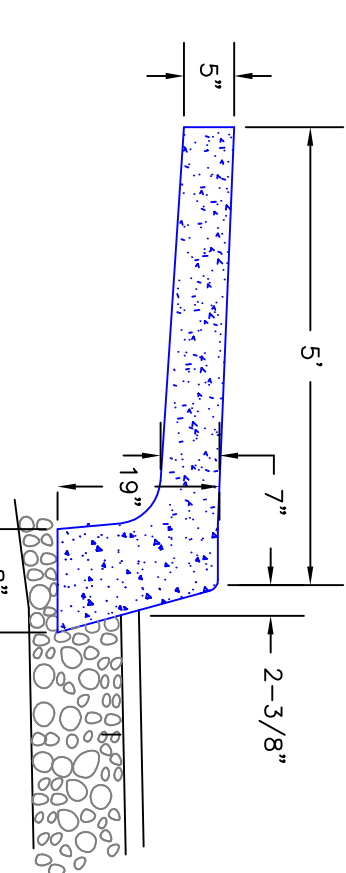
SITE REFERENCE NOTES

- ① 3" ASPHALT OVER PROPERLY PREPARED BASE COURSE. DRAIN AS PER GRADING/DRAINAGE PLAN.
- ② 4" CONCRETE SIDEWALK w/ 4" GRAVEL BASE PER CITY STANDARD
- ③ PAINTED PARKING LOT STRIPING.
- ④ 6" HIGH BACK CURB
- ⑤ 4" WIDE VALLEY GUTTER (APMA PLAN 211)
- ⑥ LANDSCAPING (SEE LANDSCAPE PLAN)
- ⑦ 8X20' DUMPSTER PAD
- ⑧ CURB ENDINGS
- ⑨ 30" INFLOW CURBING
- ⑩ 30" OUTFLOW CURBING

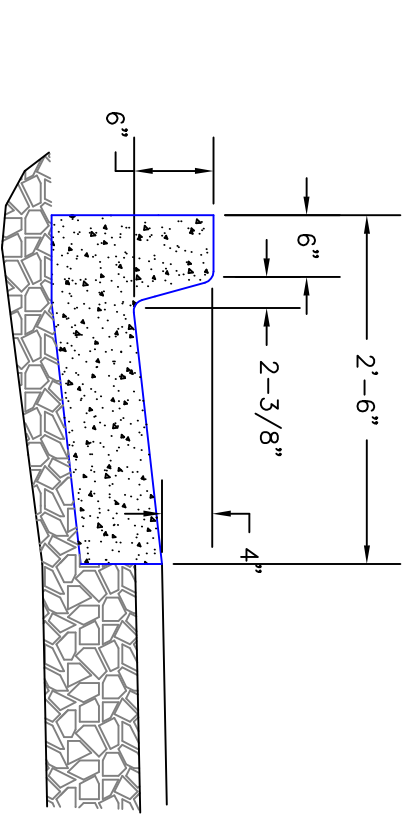
LEGEND	
	SUBDIVISION BOUNDARY LINE
	EXISTING FENCE
	NEW FENCE
	NEW EXTERIOR LIGHT - PER DEVELOPER
	EXISTING CONCRETE
	NEW CONCRETE
	EXISTING ASPHALT
	NEW ASPHALT
	ROAD LABEL



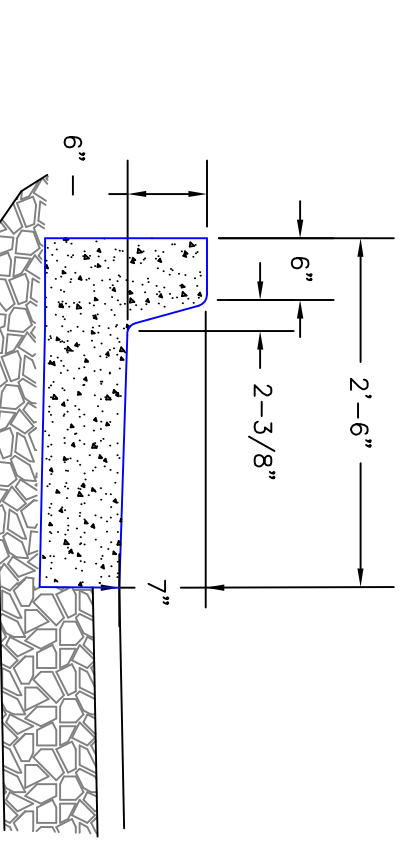
PARKING PAVEMENT SECTION
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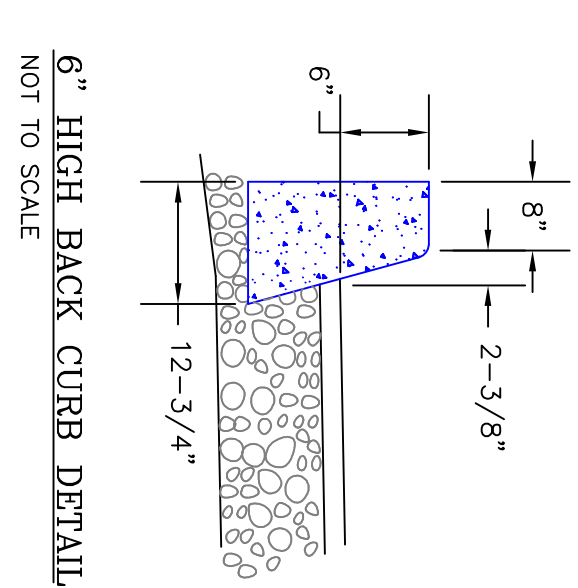
MONOLITHIC CURB SIDEWALK DETAIL
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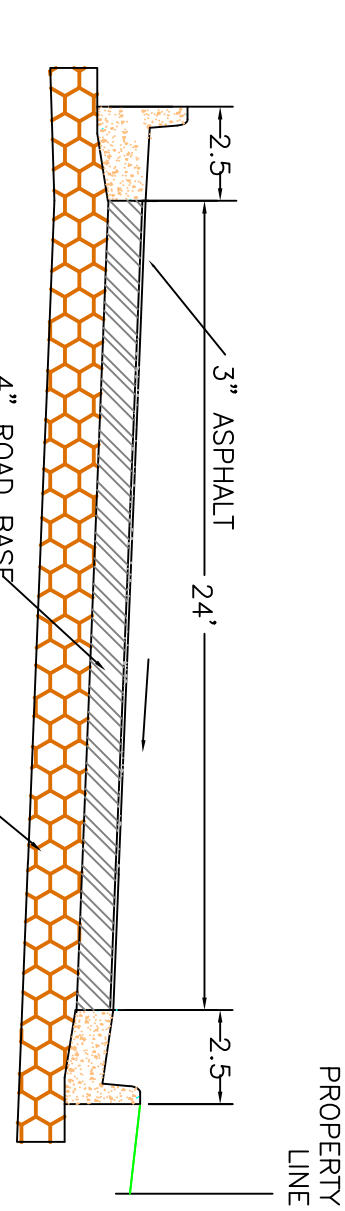
INFLOW CURB AND GUTTER DETAIL
 NOT TO SCALE



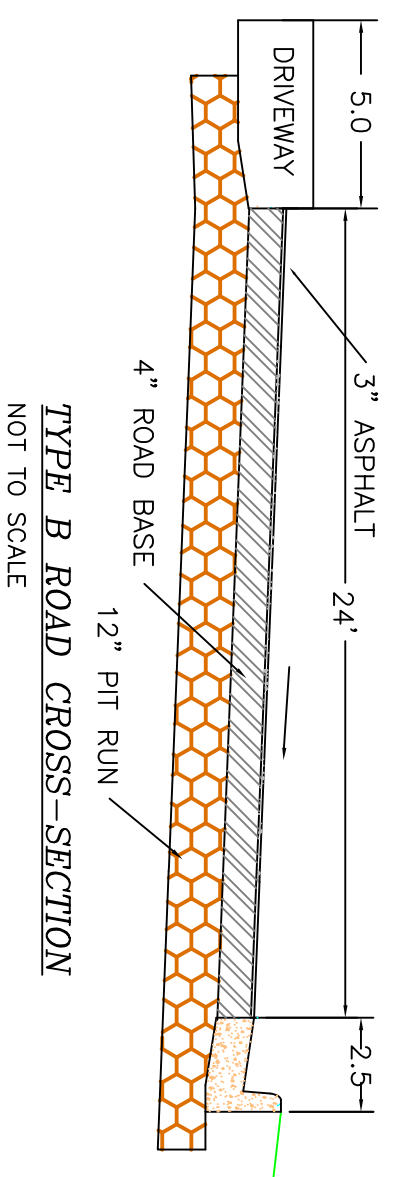
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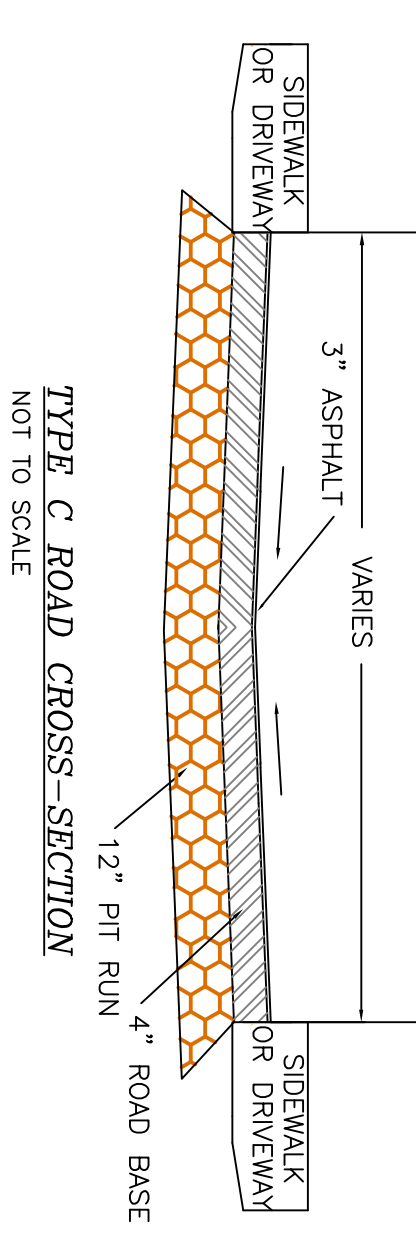
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 NOT TO SCALE**



TYPE A ROAD CROSS-SECTION
 NOT TO SCALE



TYPE B ROAD CROSS-SECTION
 NOT TO SCALE



TYPE C ROAD CROSS-SECTION
 NOT TO SCALE

REVISION	DATE	BY

A/E ALLIANCE CONSULTING ENGINEERS
 150 EAST 200 NORTH SUITE P
 LOGAN, UTAH 84321

COBBLECREEK TOWNHOMES SITE PLAN

PART OF THE NORTHWEST QUARTER OF SECTION 3
 TOWNSHIP 10 NORTH RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 HYRUM, UTAH

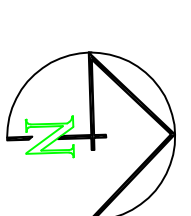
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APPROVED BY: BL	DWG DATA: Jaderfrind.dwg		

SHEET 4 OF 7

COBBLECREEK TOWNHOMES
 PART OF THE NORTH EAST QUARTER OF SECTION 10
 TOWNSHIP 10 NORTH RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 226 NORTH, 800 EAST
 HYRUM, UTAH

LANDSCAPE PLAN

0 15 30 60
 SCALE: 1" = 30' (22x34 PLAN SET)
 SCALE: 1" = 60' (11x17 PLAN SET)



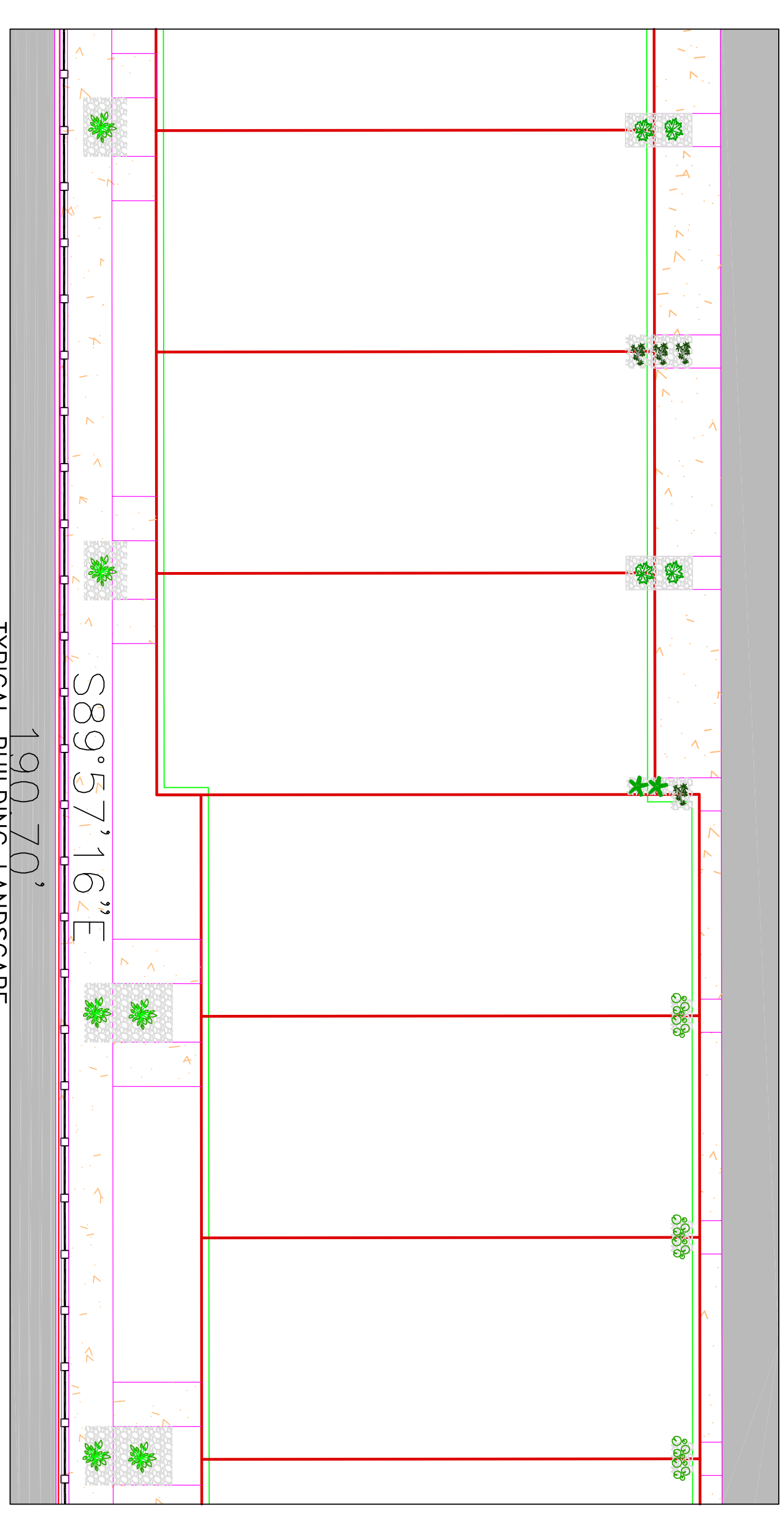
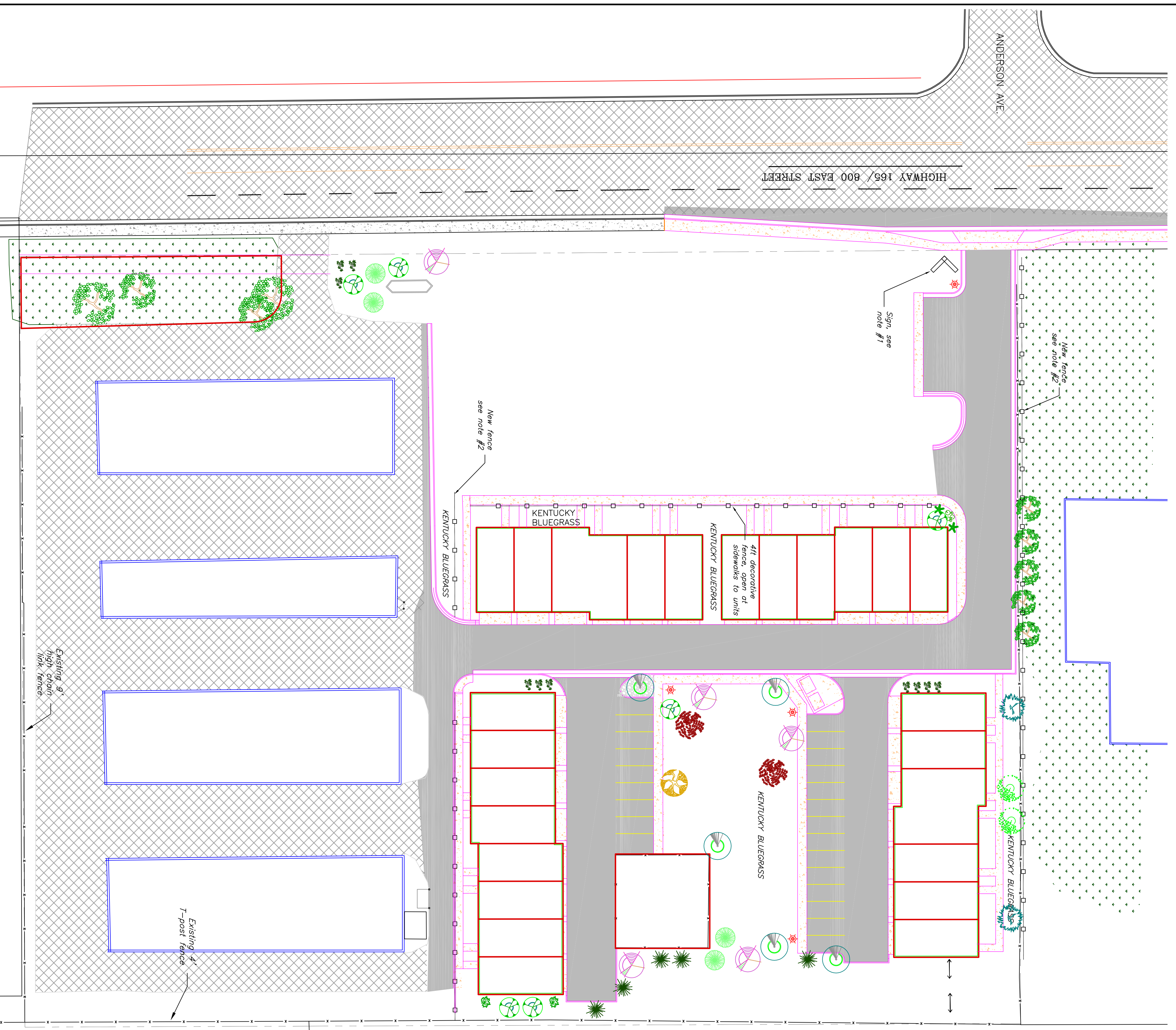
LEGEND

	BOUNDARY LINE
	NEW FENCE
	NEW LIGHT
	NEW CONCRETE
	3 INCH MINUS ROCK MULCH
	EXISTING GRASS

	Day lily (26)
	Veronica umbrosa "Georgia blue" (21)
	Missouri evening primrose (14)
	Blazing star lilies (10)
	Oregon grape (20)
	Prairie fire crotoppale 1-2" cal (1)
	Prairie rose crotoppale 1-2" cal (2)
	Spring snow crotoppale 1-2" cal (2)
	Autumn blaze maple 1-2" cal (2)
	Chanticleer pear 1-2" cal (5)
	Golden rain tree 1-2" cal (5)
	Satin jumper 1-2" cal (4)
	Tiny tower dwarf alberta spruce 1-2" cal (5)
	Dwarf globe blue spruce 1-2" cal (5)

NOTES:

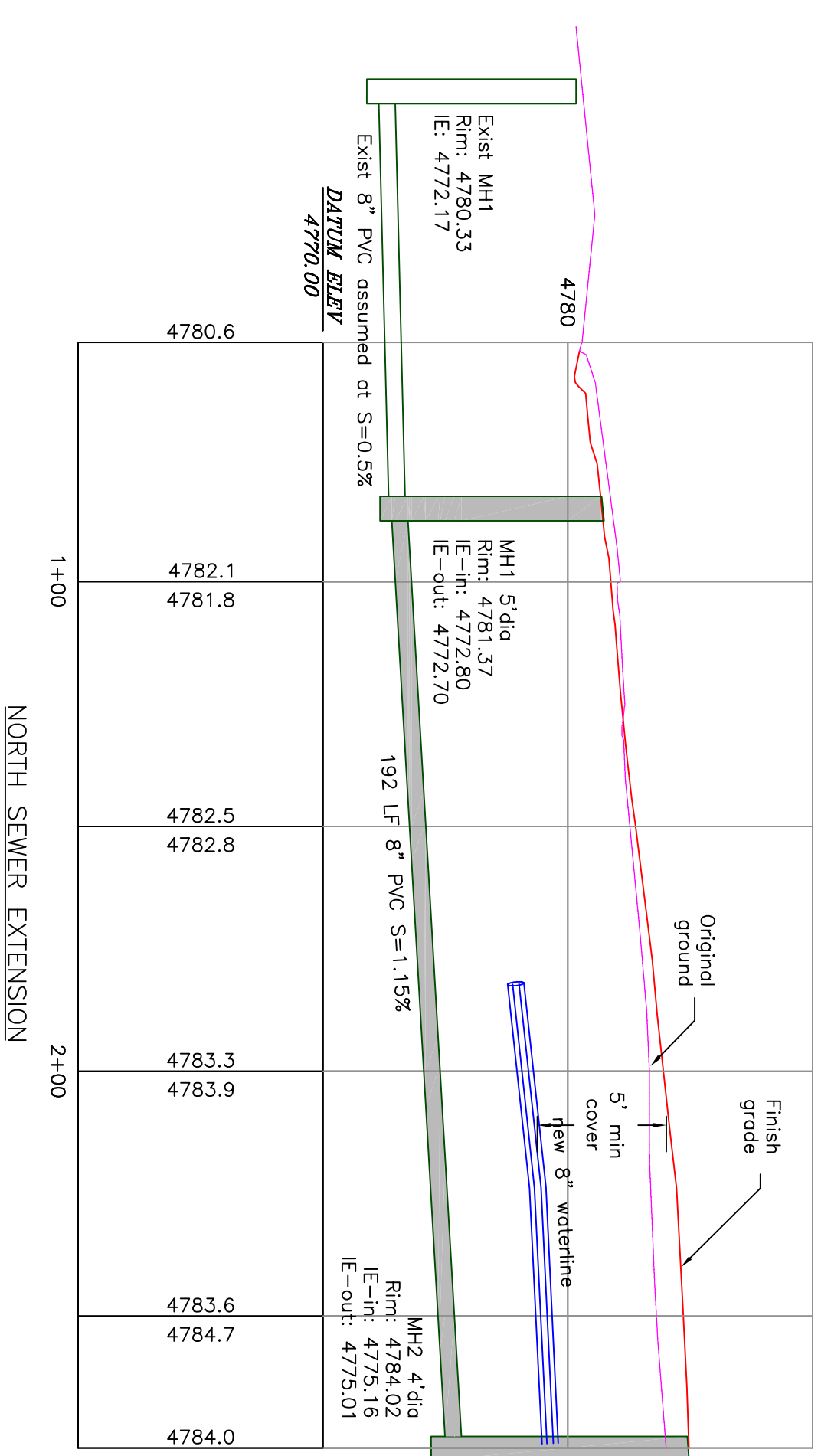
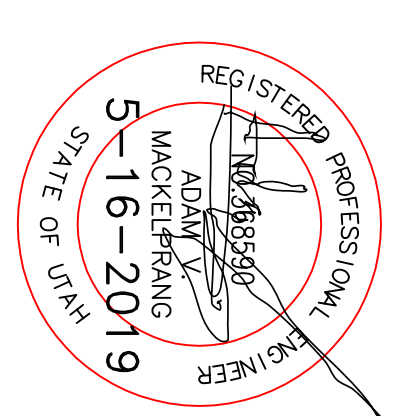
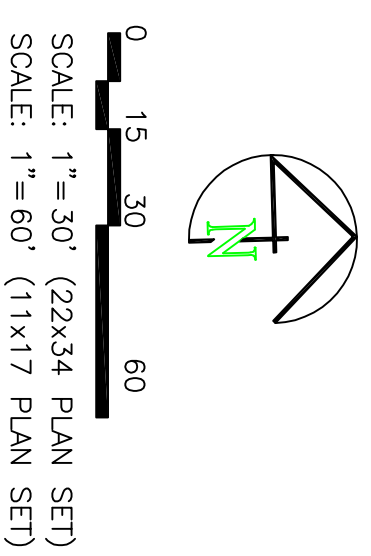
1. STUCCO COVERED WOOD FRAMED SUBDIVISION ENTRANCE SIGN
2. 6' HIGH PRIVACY FENCE TO BE INSTALLED ON THE NORTH AND SOUTH PROPERTY LINE.
3. IRRIGATION SYSTEM WILL BE DESIGNED BY LANDSCAPE CONTRACTOR. LAWN AREAS WILL BE DESIGNED FOR HEAD TO HEAD COVERAGE AND ALL PLANTING AREAS WILL BE DRIP IRRIGATED.



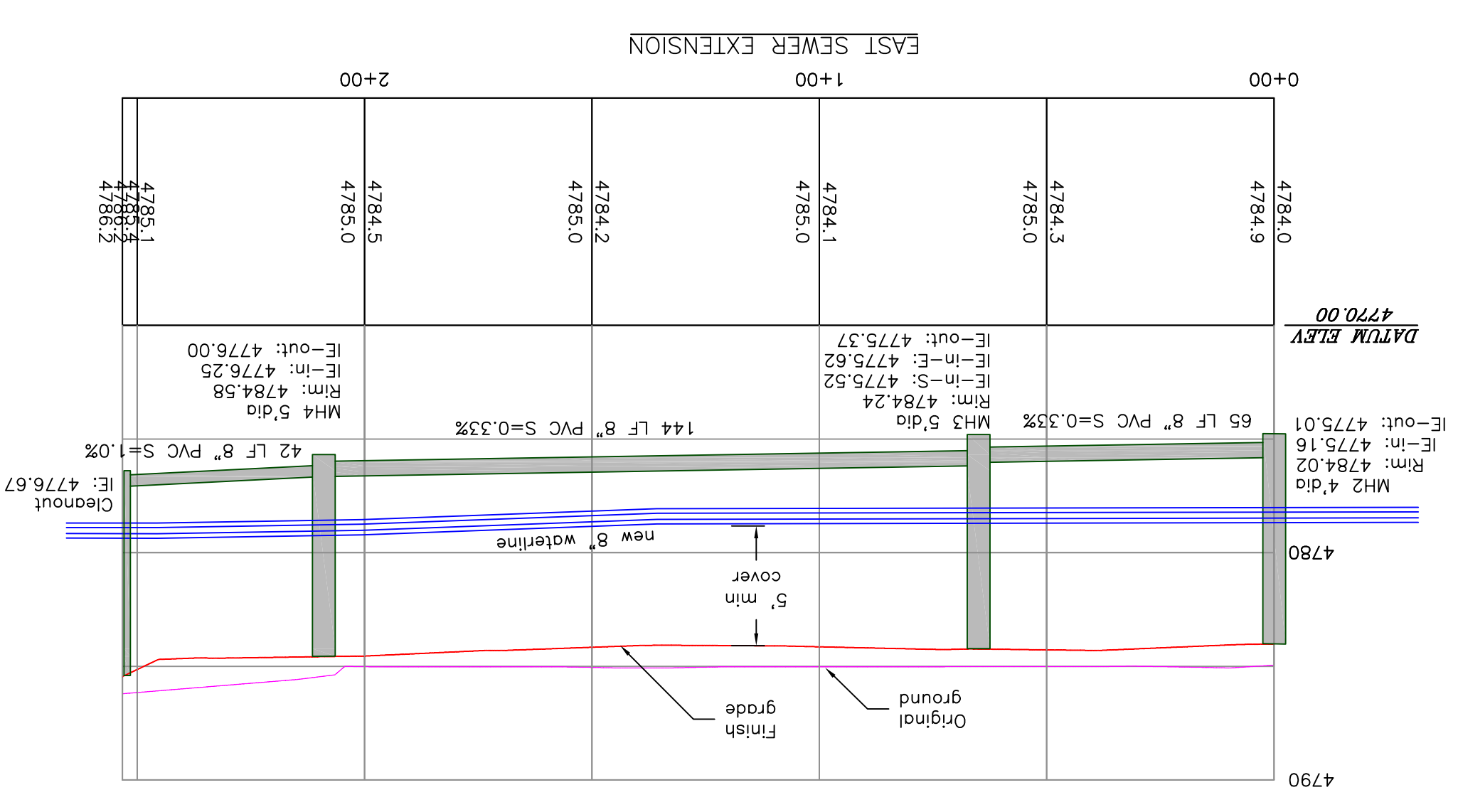
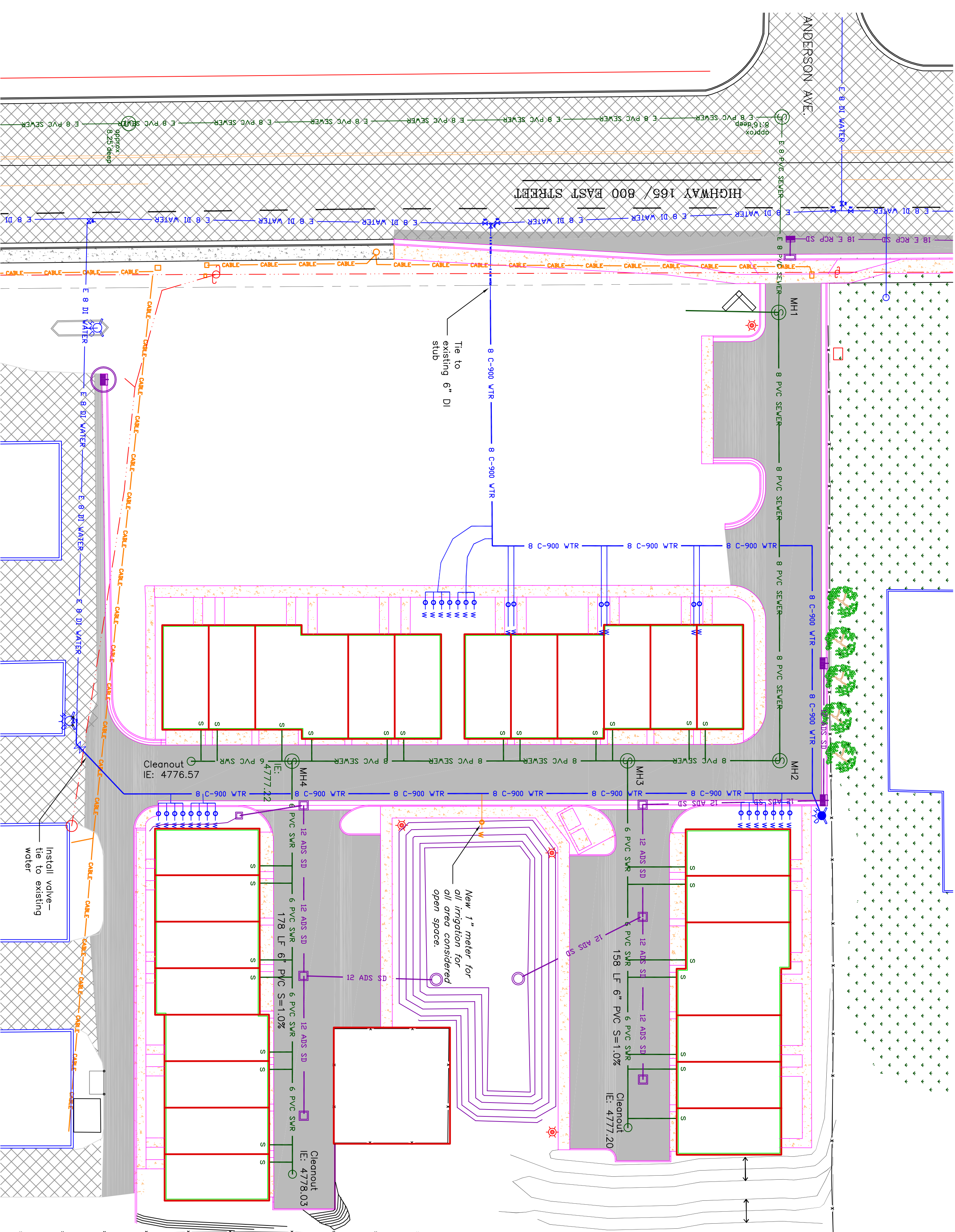
TYPICAL BUILDING LANDSCAPE

REVISION	BY	DATE
A/E ALLIANCE CONSULTING ENGINEERS		
150 EAST 200 NORTH SUITE P LOGAN, UTAH 84321		
COBBLECREEK TOWNHOMES LANDSCAPE PLAN		
PART OF THE NORTH EAST QUARTER OF SECTION 10 TOWNSHIP 10 NORTH RANGE 1 EAST SALT LAKE BASE AND MERIDIAN 226 NORTH, 800 EAST HYRUM, UTAH		
SCALE: AS NOTED	DRAWN BY: AM	CHECKED BY: AM
	APPROVED BY: BL	DWG DATA: prelim.DWG
		DATE: 5-2019

COBBLECREEK TOWNHOMES
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UTILITY PLAN



NORTH SEWER EXTENSION



EAST SEWER EXTENSION

LEGEND

	SUBDIVISION BOUNDARY LINE
	EXISTING FENCE
	EXISTING CABLE/PHONE
	EXISTING POWER
	EXISTING GAS
	EXISTING WATER
	EXISTING SEWER
	NEW EXTERIOR LIGHT-FIXTURE
	NEW DEVELOPER
	EXISTING CONCRETE
	NEW CONCRETE
	EXISTING ASPHALT
	NEW ASPHALT

ACE ALLIANCE CONSULTING ENGINEERS
 150 EAST 200 NORTH SUITE P
 LOGAN, UTAH 84321

COBBLECREEK TOWNHOMES
 UTILITY PLAN

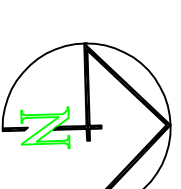
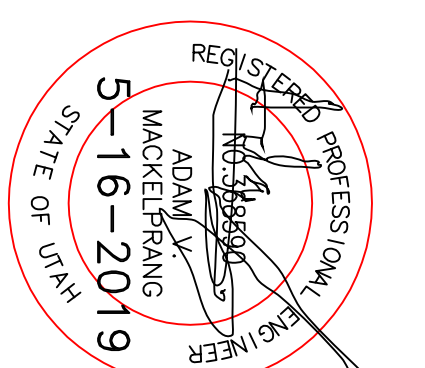
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DRAINAGE PLAN



0 15 30 60
 SCALE: 1"=30' (22x34 PLAN SET)
 SCALE: 1"=60' (11x17 PLAN SET)

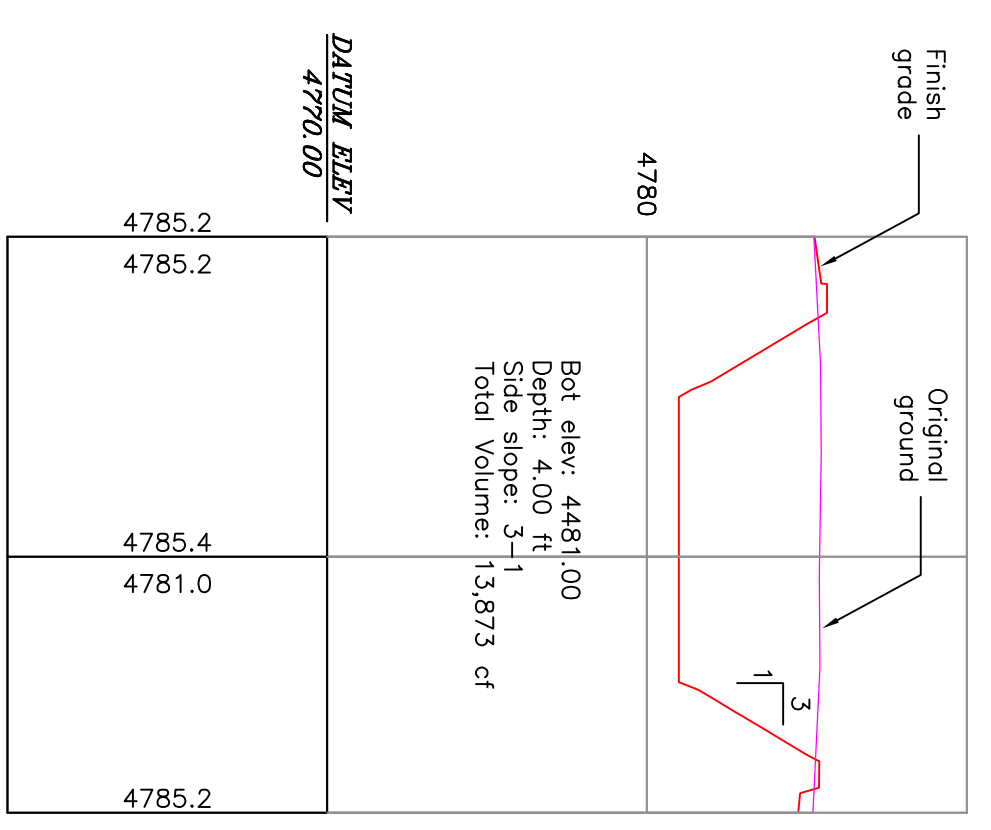
LEGEND	
	PROPERTY LINE
	EXISTING STORM LINE/GB
	NEW STORM LINE/GB
	EXISTING MNR CONTOUR (1')
	PROPOSED MNR CONTOUR (5')
	EXISTING MNR CONTOUR (1')
	PROPOSED MNR CONTOUR (0.5')
	PROPOSED MNR CONTOUR (2.5')

STORM WATER FOR THE COMMERCIAL AREA WILL BE RETAINED IN SUMPS LOCATED IN THE ROADS AND WILL BE CALCULATED AND DESIGNED WHEN SAID AREA IS SUBMITTED FOR FINAL DESIGN.

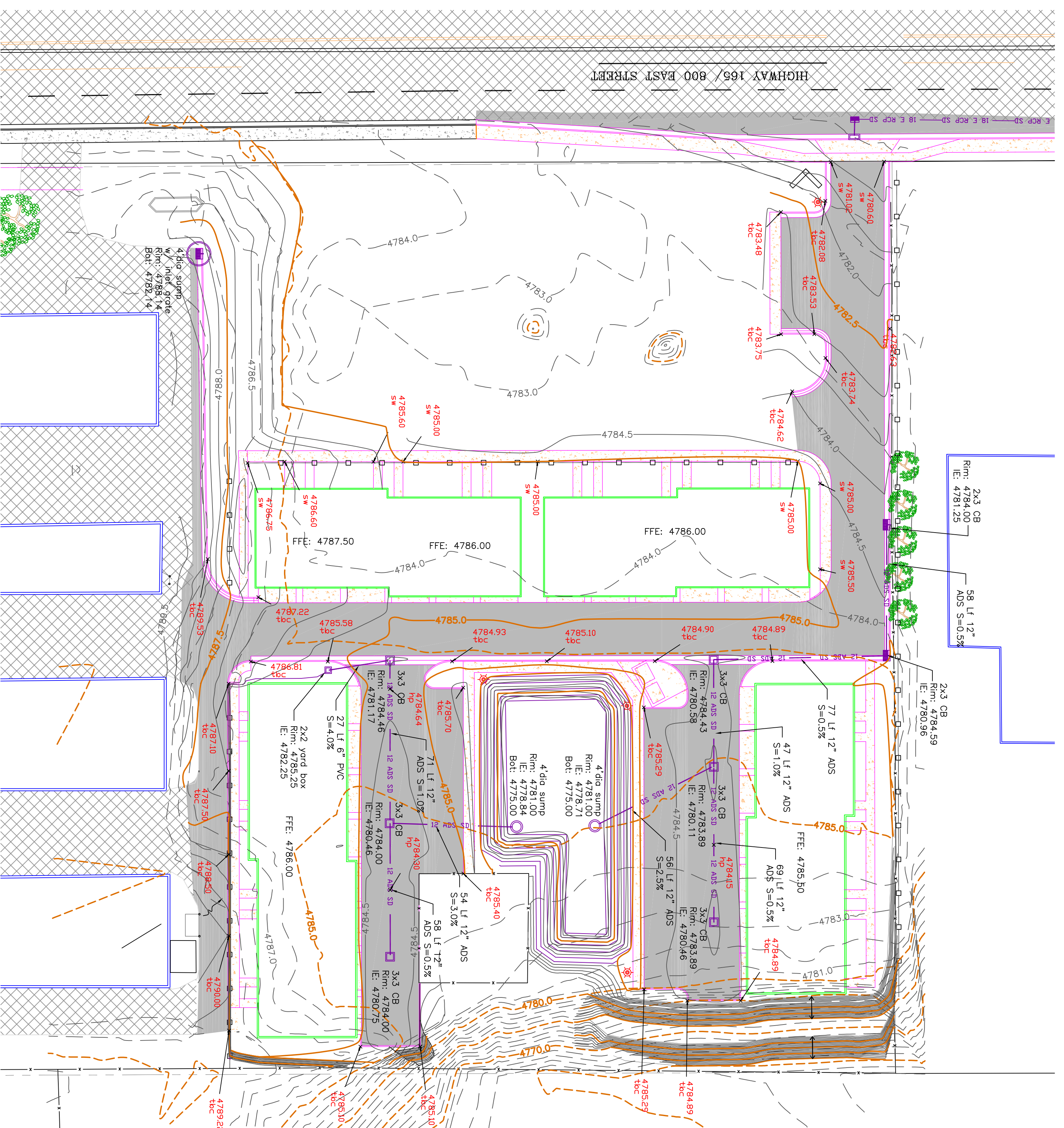
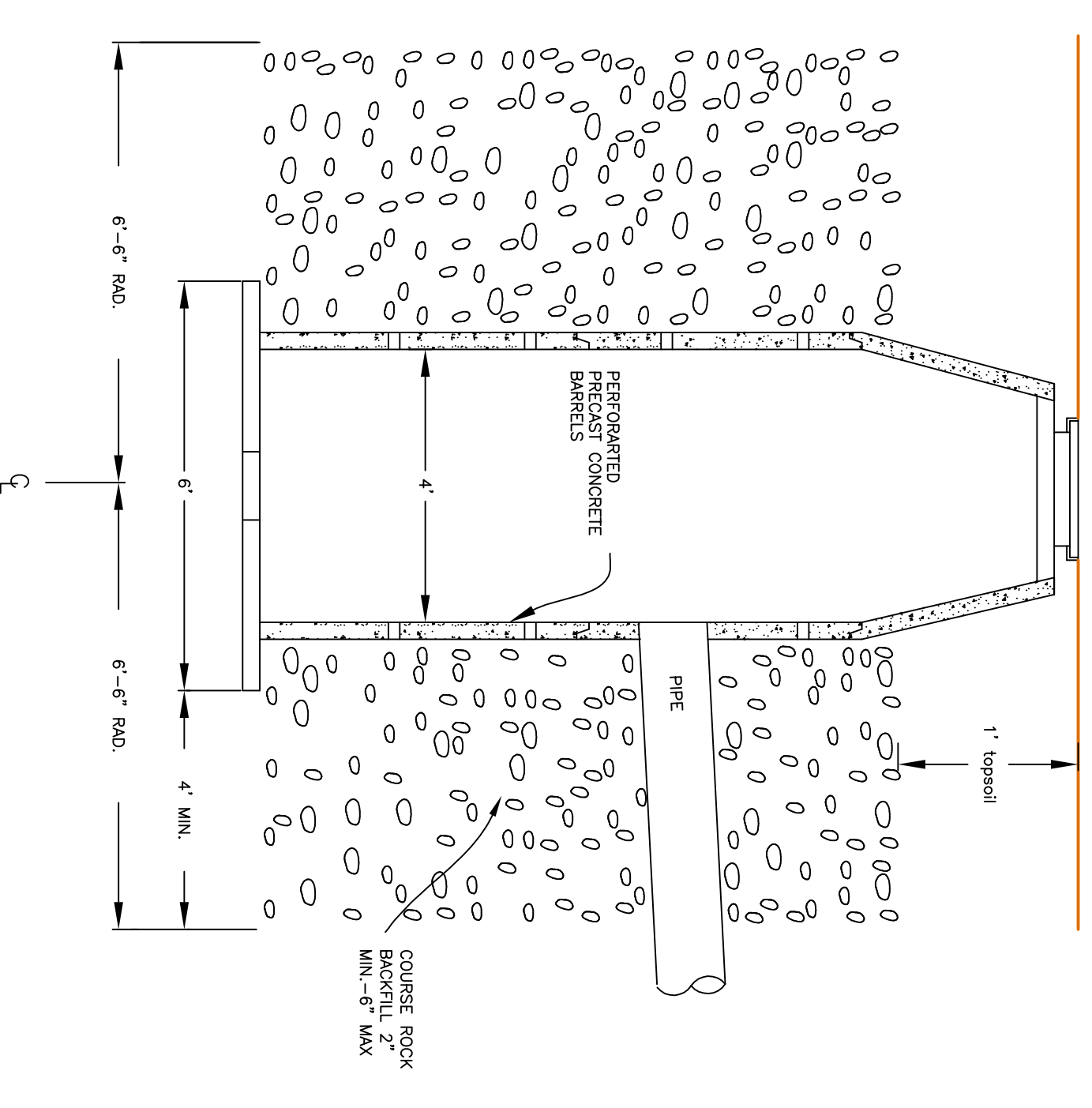
STORM DRAINAGE CALCULATIONS

CONTRIBUTING DRAINAGE AREA: 20.128 S.E.(1.61 acres)
 IMPERVIOUS AREA: 29,870 acres Road
 24,300 SF Homes
 4,170 acres total
 C=IMPERVIOUS: 0.9
 C_A=48.753
 REMAINING UNDEVELOPED AREA: 15,988 S.F.
 C=UNDEVELOPED: 0.15
 C_A= 2,398
 C=RODIE 51151/ 70,158 = 0.73
 LENGTH OF TYPICAL DRAINAGE PATH: 350 FEET
 TIME OF CONCENTRATION: 350/180 +10= 11.94 MIN
 1100=3.9 IN/HR

VOLUME REQUIRED FOR POND
 100 YR 24 HR STORM: 3.15 INCHES (NOA ATLAS 14)
 100 YR 1 HR STORM: 0.93
 VOLUME: (3.15 IN)*(0.23)*(1.61 ACRES) = 13,444 CF



SUMP DETAIL
 NOT TO SCALE



AE ALLIANCE CONSULTING ENGINEERS
 150 EAST 200 NORTH SUITE P
 LOGAN, UTAH 84321

COBBLECREEK TOWNHOMES DRAINAGE PLAN

PART OF THE NORTHWEST QUARTER OF SECTION 3
 TOWNSHIP 10 NORTH RANGE 1 EAST
 SALT LAKE BASE AND MERIDIAN
 HYRUM, UTAH

REVISION	DATE	BY

SCALE: AS NOTED	DRAWN BY: AM	CHECKED BY: AM	DATE: 5-2019
APPROVED BY: BL	DWG DATA: JuckerFreddy.dwg		