

FINAL PLAT
COBBLECREEK TOWNHOMES
~230 NORTH 800 EAST
CITY COUNCIL MEETING
JUNE 20, 2019

Utilities:

All are available in this area. A sewer and irrigation main runs down the West side of the highway. Water and electrical lines are available on the East side of the Highway.

Roads:

These will be private roads within the development. They will need to complete a UDOT access permit for this change of use. The Preliminary approval has been accomplished.

Signage:

They will have an entrance sign. (Stucco covered wood frame is proposed)

Fencing: Vinyl fence around the East, North & South sides of the development. West of Townhomes will be a decorative fence between commercial and residential space.

Landscaping:

To meet multi-family code requirements. 50% open space is shown for the residential portion of the development. Playground equipment required. (More than 12 units)

HOA:

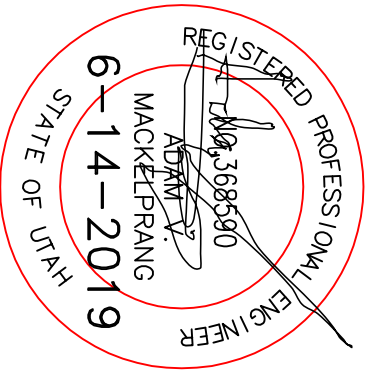
Other:

They will also be demolishing the one row of storage units on this parcel of property. The commercial pads will be left open until a business to come to this location. Site Plan approval will be requested at that time specific to what is proposed. Until the commercial property is developed, the property owner has agreed to maintain some lawn and keep this area groomed. The Planning Commission recommended the City work with the owner to provide irrigation priced water while this commercial property is temporarily cared for. The UHAUL business is being discontinued. The small existing shed will be moved to the commercial area to be used as a yard shed for sprinkler controls and maintenance equipment for the owner to maintain this area until it is developed as needed. The plan as now proposed meets the 50% open space requirement for the residential area. A few items are being worked out on the construction drawing with the City Engineer that they will have completed before our preconstruction meeting.

COBBLECREEK TOWNHOMES

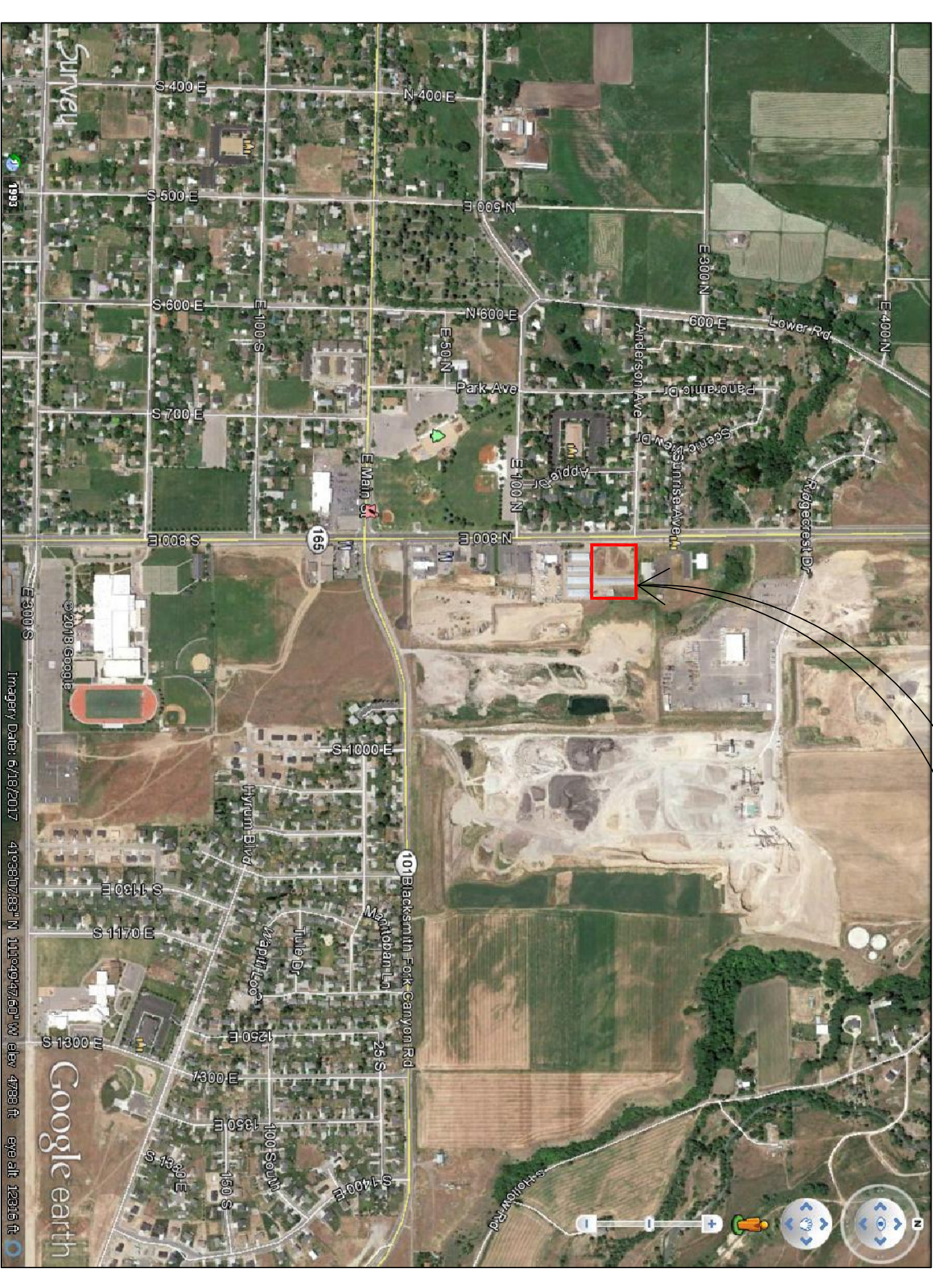
PART OF THE NORTH EAST QUARTER OF SECTION 10
TOWNSHIP 10 NORTH RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
226 NORTH, 800 EAST
HYRUM, UTAH

INDEX SHEET



SHEET NO.	SHEET DESCRIPTION
1	INDEX SHEET
2	EXISTING SITE
3	HIGHWAY 165 CONSTRUCTION PLAN
4	SITE PLAN
5	LANDSCAPE PLAN
6	UTILITY PLAN
7	DRAINAGE PLAN

PROJECT



VICINITY MAP

OWNER/DEVELOPER
JAKE THOMPSON
435-764-2418

CIVIL ENGINEER
ALLIANCE CONSULTING ENGINEERS, INC.
150 EAST 200 NORTH SUITE P
LOGAN, UTAH 84321
435-755-5121

CITY ENGINEER
CRAIG NEELEY
AQUA ENGINEERING INC.
533 WEST 2600 SOUTH
BOUNTIFUL, UTAH 84010
(801) 299-1327

CITY ENGINEER APPROVAL
I CERTIFY THAT I HAVE EXAMINED THIS PLAN AND FIND IT TO BE IN
GENERAL COMPLIANCE TO THE CITY STANDARDS

CITY ENGINEER _____ DATE _____

- GENERAL NOTES (APPLICABLE TO ALL CIVIL SHEETS):
1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, CITY OF HYRUM STANDARDS, STATE OF UTAH AND ANY OTHER APPLICABLE STANDARDS ISSUED BY THE CONTROLLING AGENCY.
 2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION. ANY DISCREPANCIES BETWEEN DIMENSIONS SHOWN ON THE PLANS AND FIELD MEASUREMENTS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER. ANY WORK DONE WITHOUT VERIFICATION IS DONE SO AT THE CONTRACTOR'S RISK AND EXPENSE IF ERRORS OCCUR.
 3. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AREAS AND/OR MATERIALS DAMAGED DURING CONSTRUCTION.
 4. CONTRACTOR SHALL MAINTAIN ALL ADJACENT PROPERTY (PUBLIC & PRIVATE) FROM ALL CONSTRUCTION DEBRIS.
 5. CONTRACTOR SHALL PROVIDE SMOOTH TRANSITION FROM ALL NEW CONSTRUCTION TO EXISTING CONDITIONS.
 6. CONTRACTOR SHALL PROVIDE ALL NECESSARY AUTOMOBILE AND PEDESTRIAN TRAFFIC CONTROL DEVICES REQUIRED BY LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES.
 7. CONTRACTOR SHALL REPLACE SURVEY MONUMENTS DAMAGED DURING CONSTRUCTION. SURVEY MONUMENTS TO BE REPLACED BY A REGISTERED, LICENSED LAND SURVEYOR.
 8. CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, INCLUDING FIBER OPTIC. ANY DAMAGES TO EXISTING UTILITIES WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.
 9. DIMENSIONS SHOWN ARE TO THE CENTER OF THE PIPELINE UNLESS OTHERWISE NOTED.
 10. DISTANCES SHOWN ALONG PIPELINES ARE HORIZONTAL DISTANCES AND NOT ACTUAL PIPE LENGTHS. MORE PIPE MAY BE REQUIRED TO COMPLETE CONSTRUCTION THAN IS DIMENSIONED IN THE PLANS.
 11. THRUST BLOCKS SHALL BE PLACED ON WATERLINES AT ALL DIRECTION CHANGES, FITTINGS, BENDS, ELBOWS, FIRE HYDRANTS AND GATE VALVES AS SHOWN IN THE PROJECT PLANS.
 12. CONTRACTOR IS REQUIRED TO HAVE A SET OF PLANS ON THE SITE AT ALL TIMES. ANY WORK COMPLETED WITHOUT A SET PRESENT IS DONE SO AT THE CONTRACTOR'S RISK AND EXPENSE IF ERRORS OCCUR.
 13. CONTRACTOR IS RESPONSIBLE FOR PROVIDING WATER NECESSARY FOR DUST ABEATEMENT, COMPACTATION, ETC.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SOURCES FOR GRANULAR MATERIALS, WYOMING STATES, AND ANY OTHER MATERIALS SOURCES AS REQUIRED FOR PROJECT COMPLETION.
 15. ANY WORK DONE WITHIN A PUBLIC RIGHT-OF-WAY SHALL BE COORDINATED WITH THE APPROPRIATE TRANSPORTATION AGENCY AND SHALL MEET THE REQUIREMENTS OF THE TRANSPORTATION AGENCY AND THE REQUIREMENTS OF ANY RIGHT-OF-WAY OR SPECIAL USE PERMITS.
 16. THE CONTRACTOR SHALL COORDINATE ALL LIVE TAPS AND ANY OTHER WORK OR MANIPULATION OF THE EXISTING WATER SYSTEM WITH THE CITY.
 17. ON SLOPING AREAS THE CONTRACTOR SHALL TAKE PRECAUTIONS TO MITIGATE ANY POSSIBLE EROSION PROBLEMS IN THE TRENCHES DUE TO STORM WATER THAT MIGHT OCCUR DURING OR AFTER CONSTRUCTION AS DIRECTED OR APPROVED BY ENGINEER.
 18. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL EROSION CONTROL MEASURES AS DETAILED IN THE PROJECT PLANS UNTIL FINAL ACCEPTANCE OF THIS PROJECT.
 19. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONS NECESSARY TO INSURE THAT NO STORM WATER/SEDIMENT AND/OR CONSTRUCTION DEBRIS ARE RELEASED FROM THE SITE. ANY RELEASES SHALL BE CLEANED AND MITIGATED AT THE CONTRACTOR'S EXPENSE.
 20. CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACCESS AND RELATED TRAFFIC CONTROL WITH THE COUNTY, CITY, AND STATE ROADWAY DEPARTMENTS. THE ENGINEER SHALL REVIEW ALL TRAFFIC CONTROL PLANS.
 22. ALL GATE VALVES SHALL BE LOCATED NEAR TO TEES OR CROSSES AND THEIR ASSOCIATED REDUCERS AS SHOWN ON THE PROJECT PLANS.
 23. CONTRACTOR SHALL PROVIDE ALL NECESSARY FITTINGS, HARDWARE, LABOR, ETC. TO COMPLETED VERTICAL AND HORIZONTAL BENDS AS REQUIRED TO MEET THE REQUIRED SIZES, ALIGNMENTS AND COVER REQUIREMENTS.
 24. THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF HYRUM FOR ALL UTILITY INSPECTIONS PRIOR TO BACKFILLING.
 25. ALL WATER SYSTEM COMPONENTS SHALL BE INSTALLED, PRESSURE TESTED, AND CHLORINATED PRIOR TO COMPLETING ANY ROADWAY CONSTRUCTION.
 26. ONE WYAR AND ONE PAPER SET OF AS BUILTS SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF PUBLIC IMPROVEMENTS.

ALLIANCE CONSULTING ENGINEERS
150 EAST 200 NORTH SUITE P
LOGAN, UTAH 84321

COBBLECREEK TOWNHOMES
INDEX SHEET

PART OF THE NORTH EAST QUARTER OF SECTION 10
TOWNSHIP 10 NORTH RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
226 NORTH, 800 EAST
HYRUM, UTAH

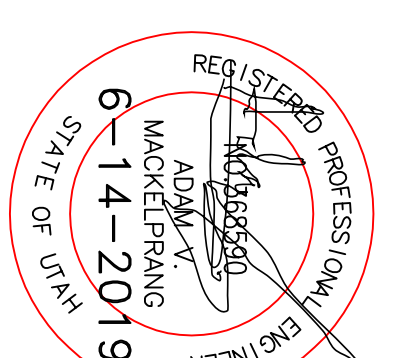
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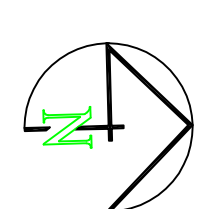
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CHECKED BY: AM
DATE: 5-2019

APPROVED BY: BL
DWC DATA: jckdfhnavi.dwg

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EXISTING SITE

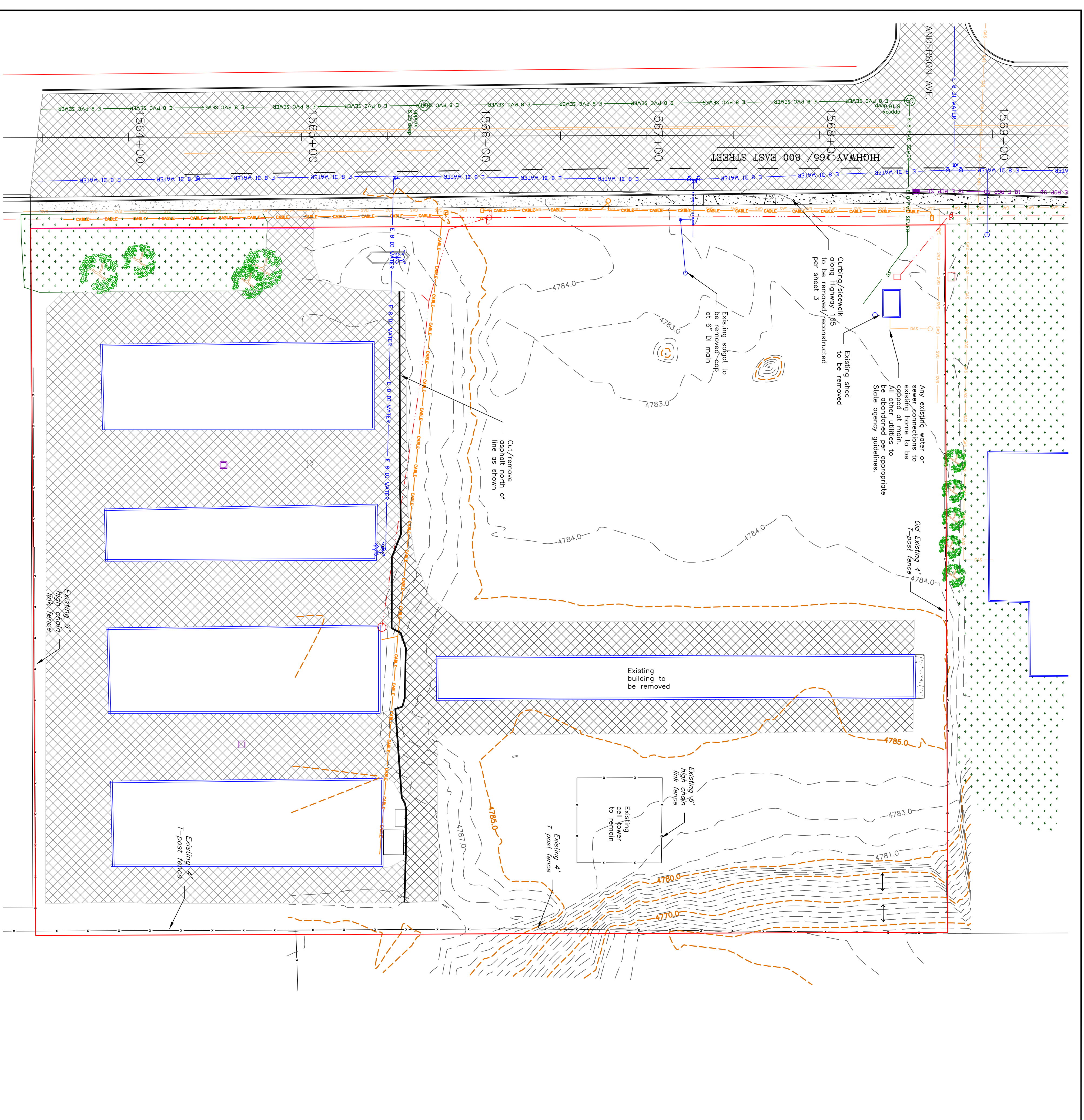


0 15 30 60
 SCALE: 1" = 30' (22x34 PLAN SET)
 SCALE: 1" = 60' (11x17 PLAN SET)



LEGEND	
	BOUNDARY LINE
	EXISTING WATER
	EXISTING SEWER
	EXISTING FENCE
	EXISTING CABLE/PHONE
	EXISTING POWER
	EXISTING GAS
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING LANDSCAPING

Contractor to verify all utility sizes and types at connection points. The design engineer and City shall be notified immediately of any variations from what is shown on the plans.



REVISION	DATE	BY

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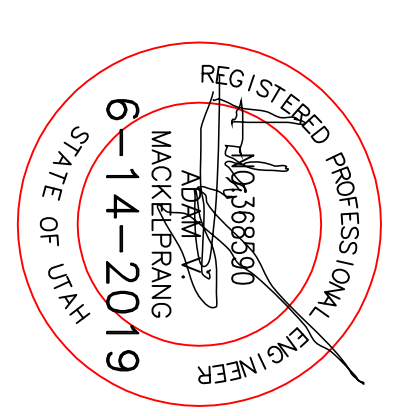
COBBLECREEK TOWNHOMES EXISTING SITE

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SCALE: AS NOTED DRAWN BY: AM CHECKED BY: AM DATE: 5-2019
 APPROVED BY: BL DWG DATA: jmk@fridayi.dwg

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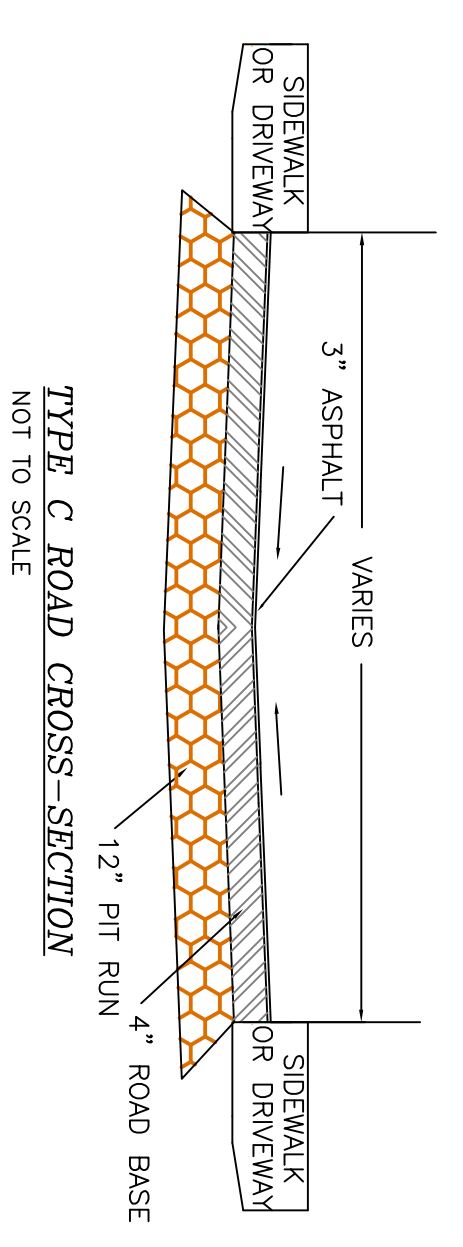
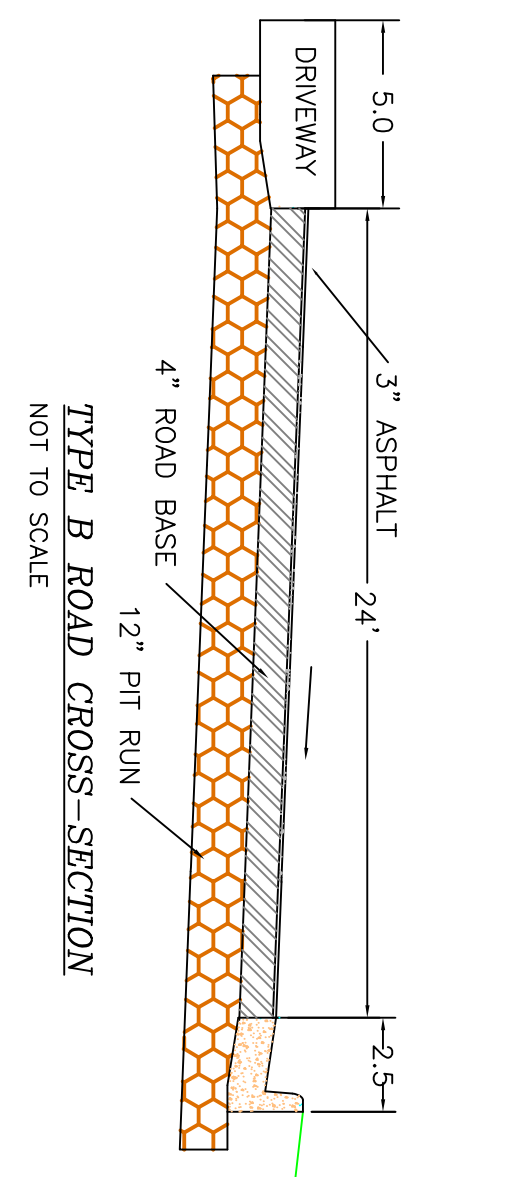
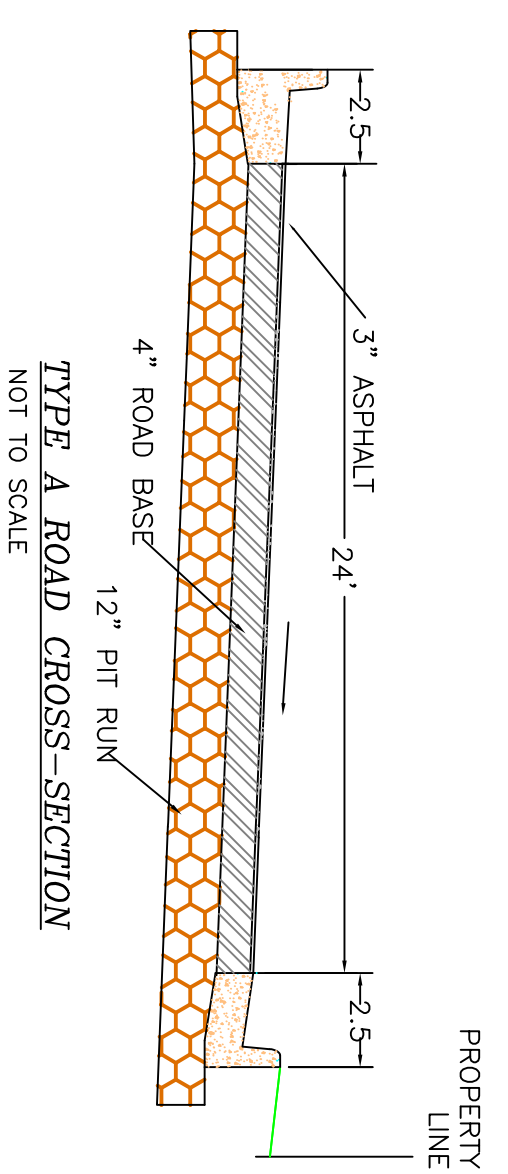
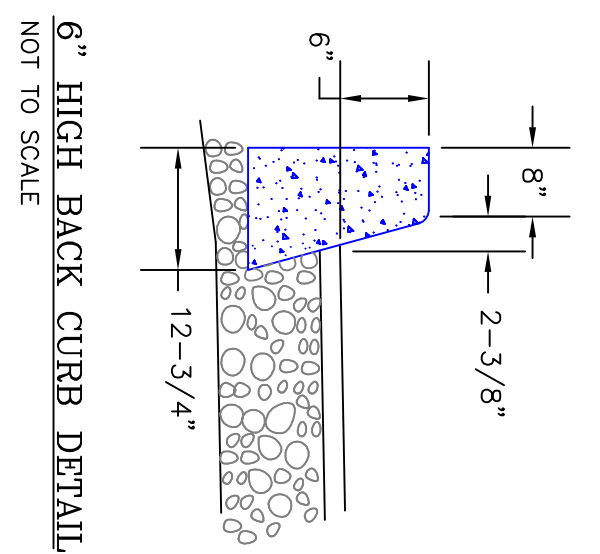
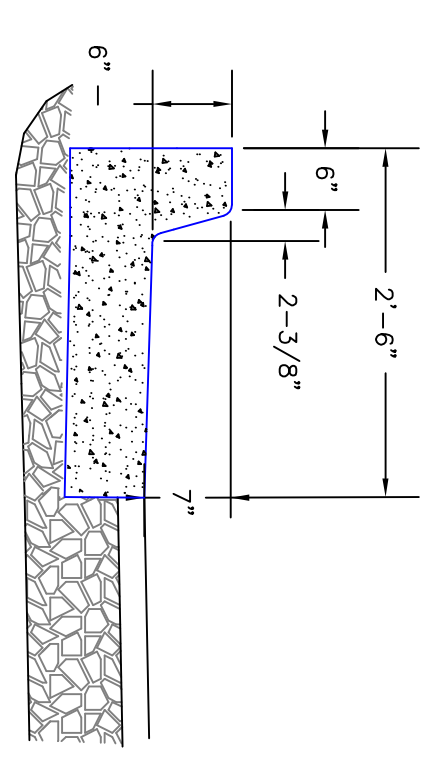
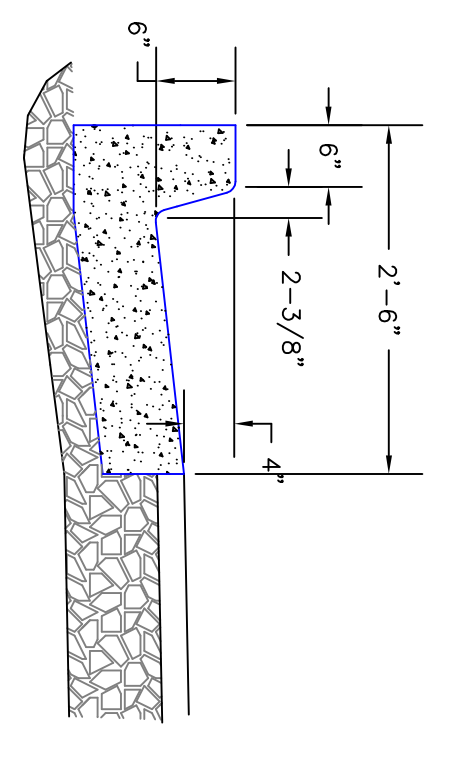
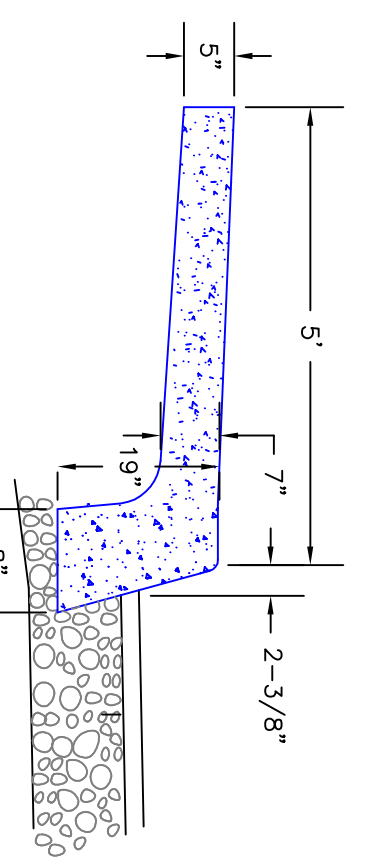
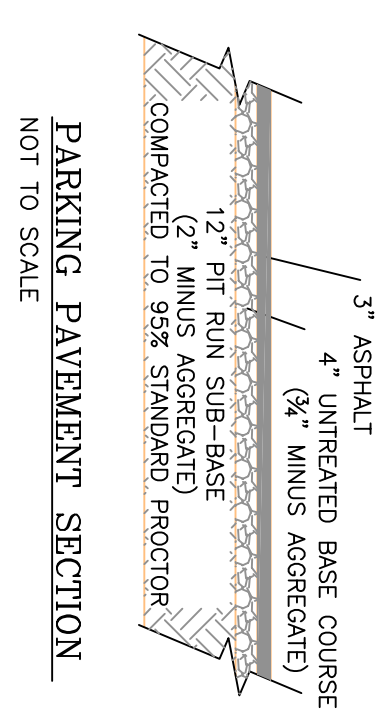
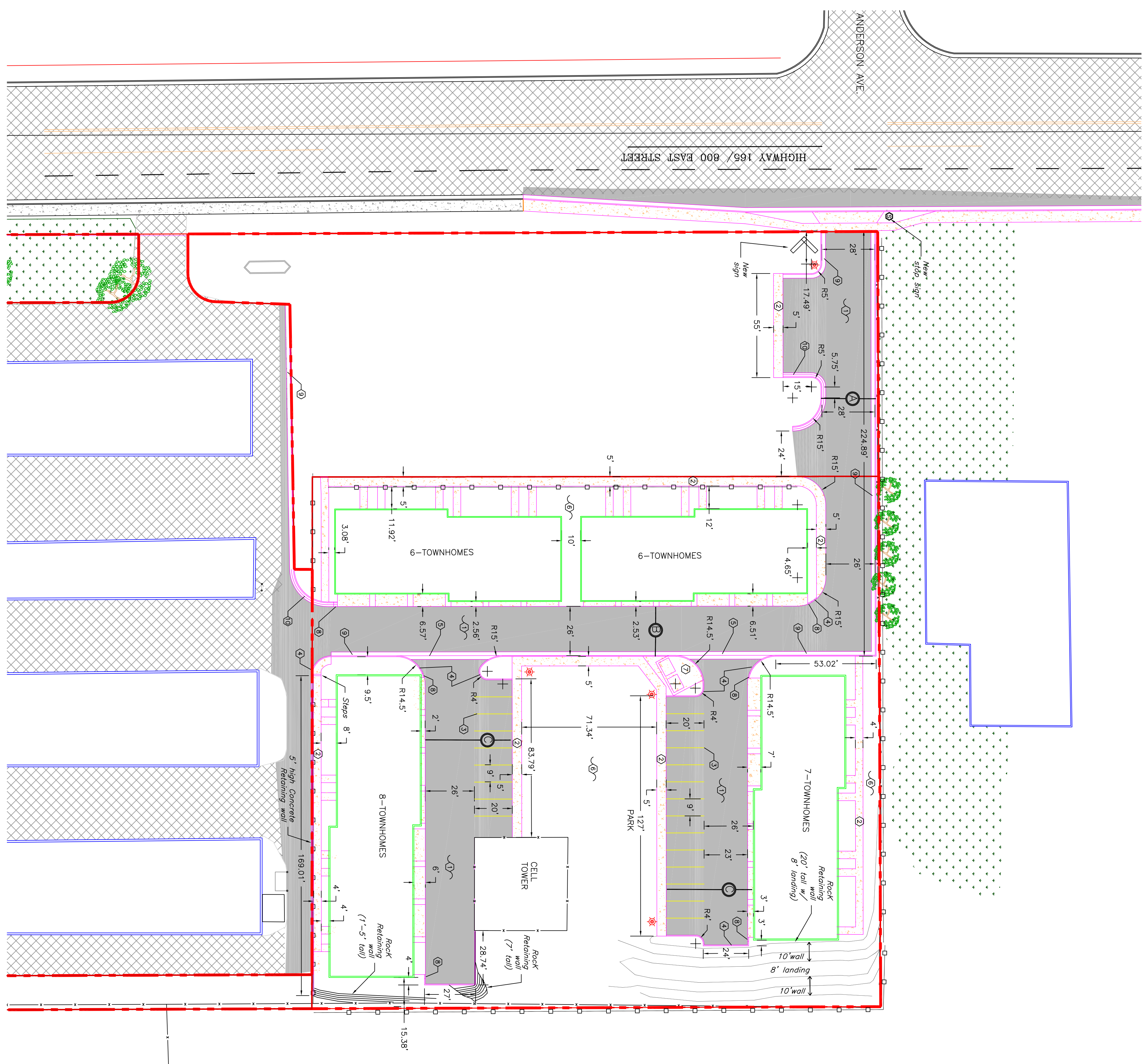
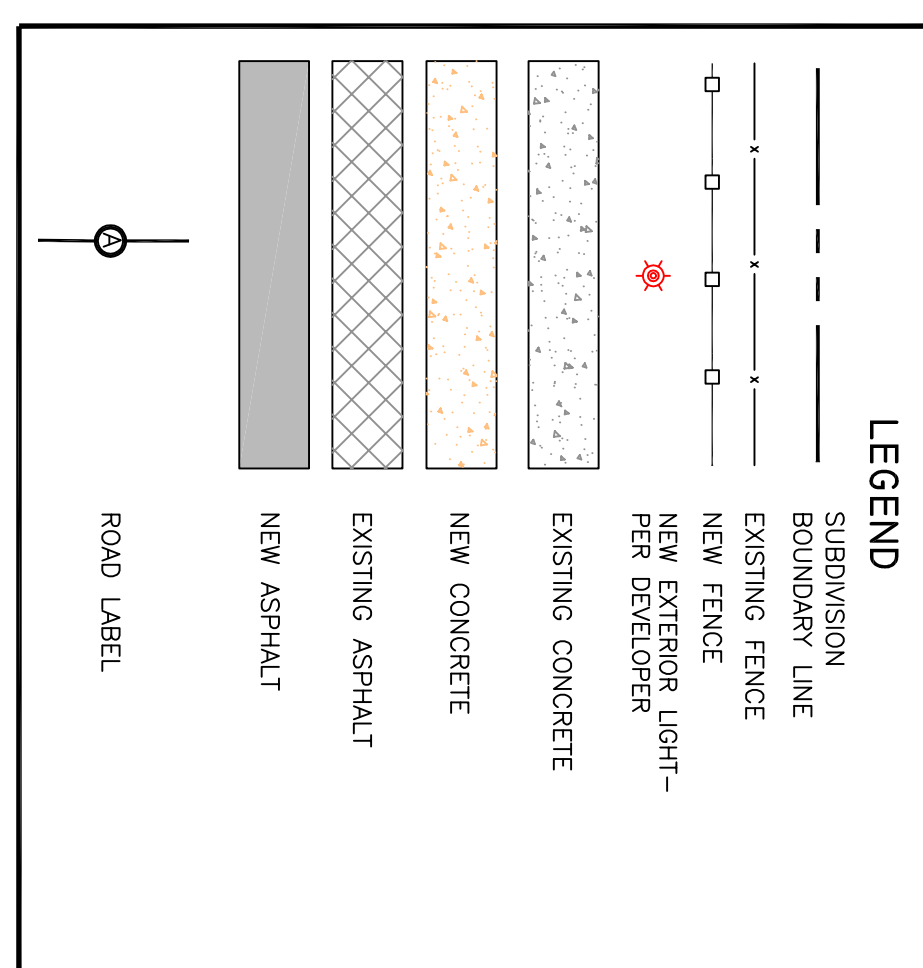
SITE PLAN



0 15 30 60
 SCALE: 1"=30' (22x34 PLAN SET)
 SCALE: 1"=60' (11x17 PLAN SET)

SITE REFERENCE NOTES

- ① 3" ASPHALT OVER PROPERLY PREPARED BASE COURSE. DRAIN AS PER GRADING/DRAINAGE PLAN.
- ② 4" CONCRETE SIDEWALK w/ 4" GRAVEL BASE PER CITY STANDARD
- ③ PAINTED PARKING LOT STRIPING.
- ④ 6" HIGH BACK CURB
- ⑤ 4" WIDE VALLEY GUTTER (APWA PLAN 211)
- ⑥ LANDSCAPING (SEE LANDSCAPE PLAN)
- ⑦ 8X20' DUMPSTER PAD
- ⑧ CURB ENDINGS
- ⑨ 30" INFLOW CURBING
- ⑩ 30" OUTFLOW CURBING



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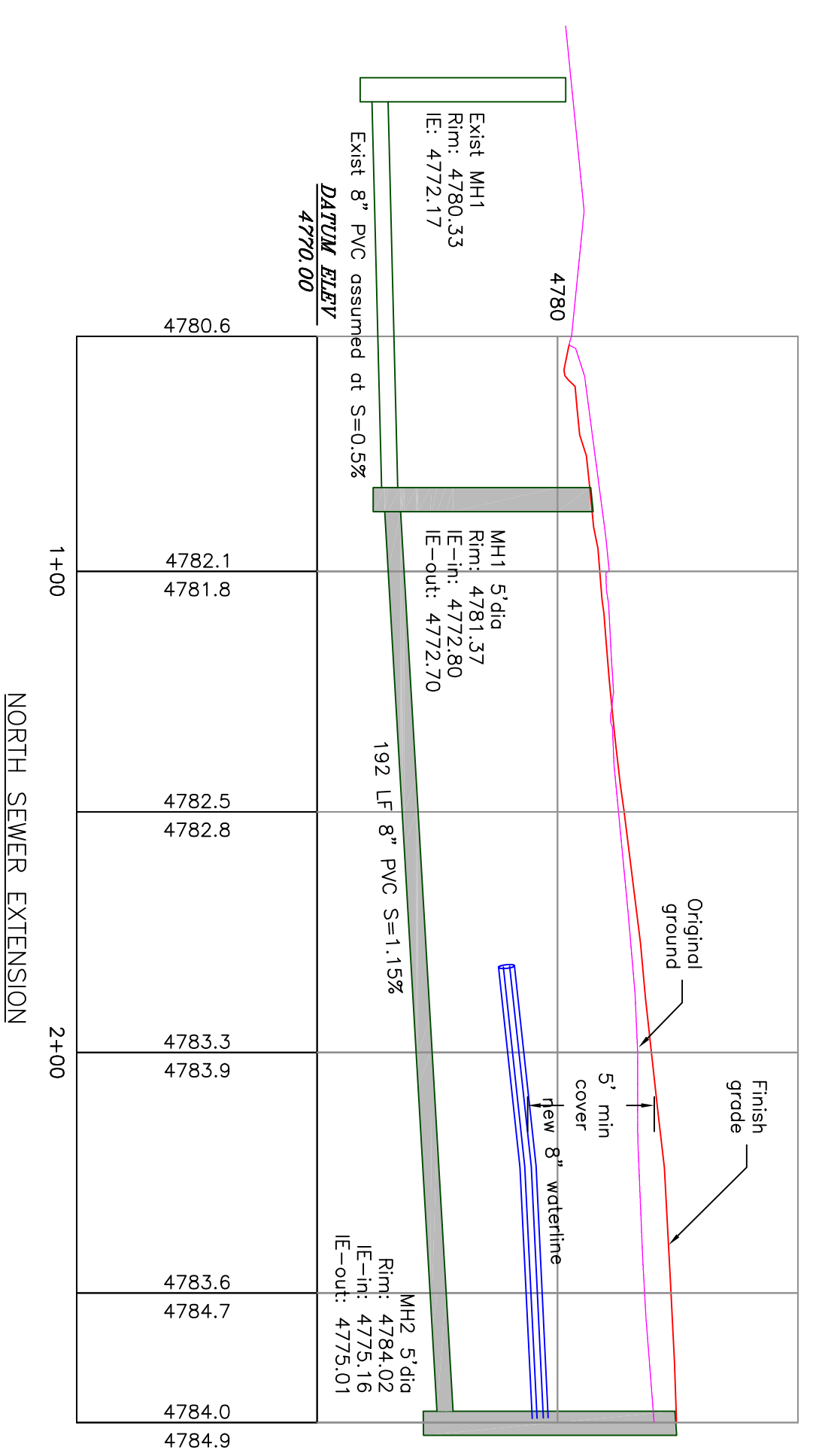
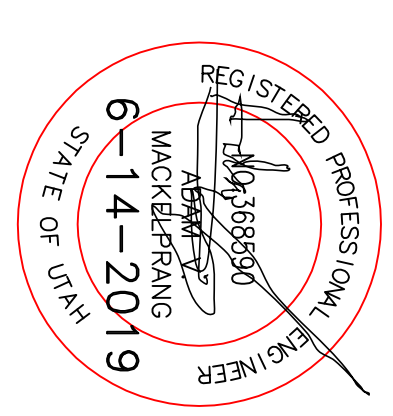
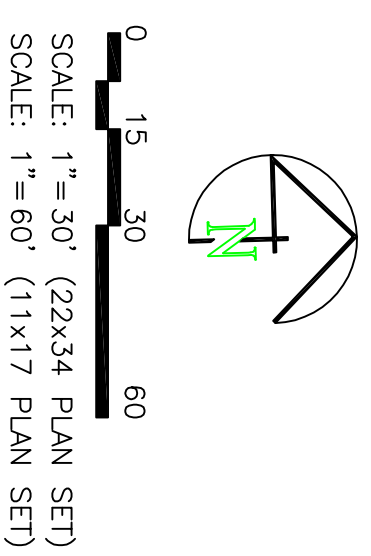
COBBLECREEK TOWNHOMES SITE PLAN

PART OF THE NORTHWEST QUARTER OF SECTION 3
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SCALE: AS NOTED DRAWN BY: AM CHECKED BY: AM DATE: 5-2019
 APPROVED BY: BL DWG DATA: Jaderfrindv.dwg

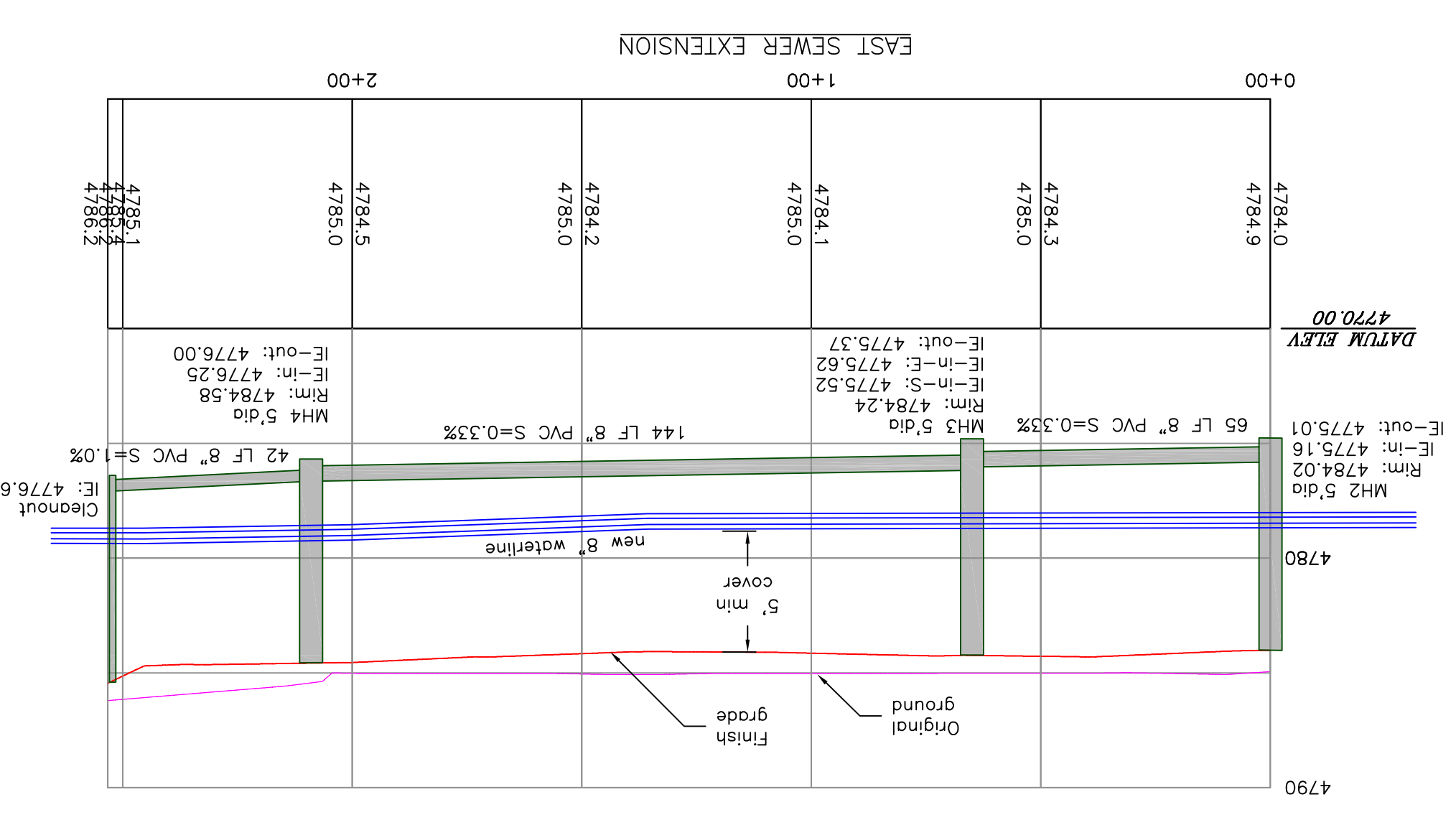
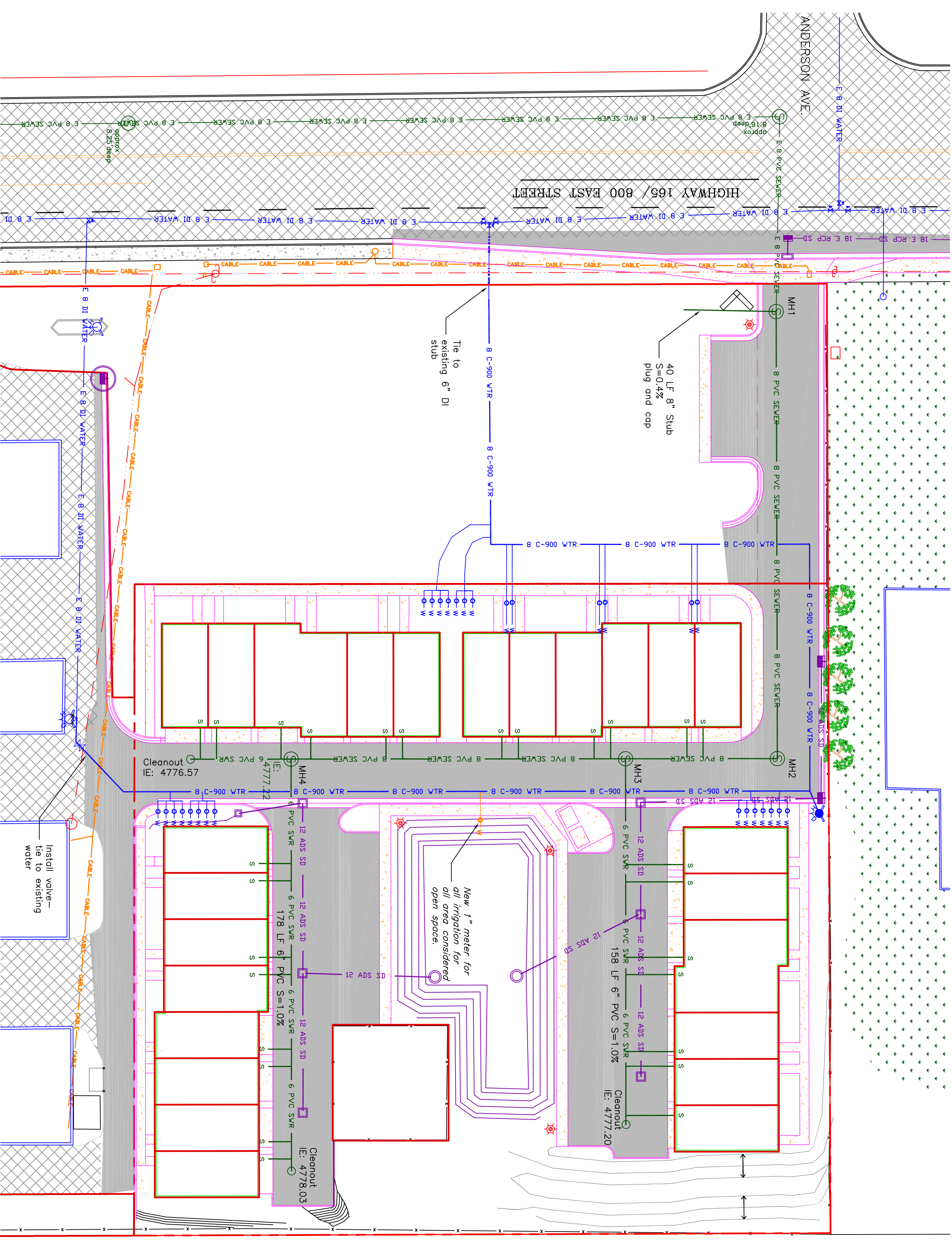
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UTILITY PLAN



NORTH SEWER EXTENSION

LEGEND

	SUBDIVISION BOUNDARY LINE
	EXISTING FENCE
	EXISTING CABLE/PHONE
	EXISTING POWER
	EXISTING GAS
	EXISTING WATER
	EXISTING SEWER
	NEW EXTERIOR LIGHT - PER DEVELOPER
	EXISTING CONCRETE
	NEW CONCRETE
	EXISTING ASPHALT
	NEW ASPHALT



REVISION	DATE	BY

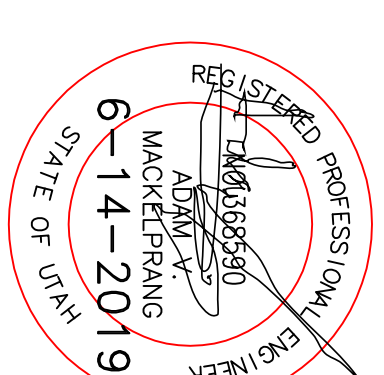
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COBBLECREEK TOWNHOMES
 UTILITY PLAN

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DRAINAGE PLAN



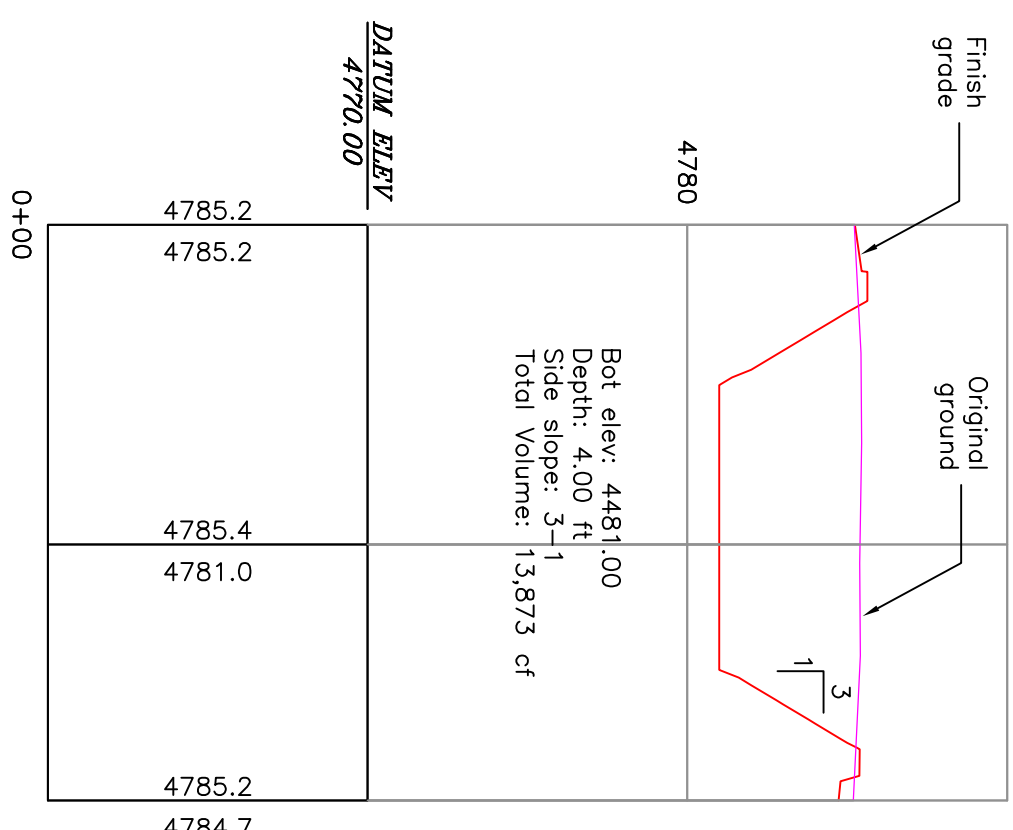
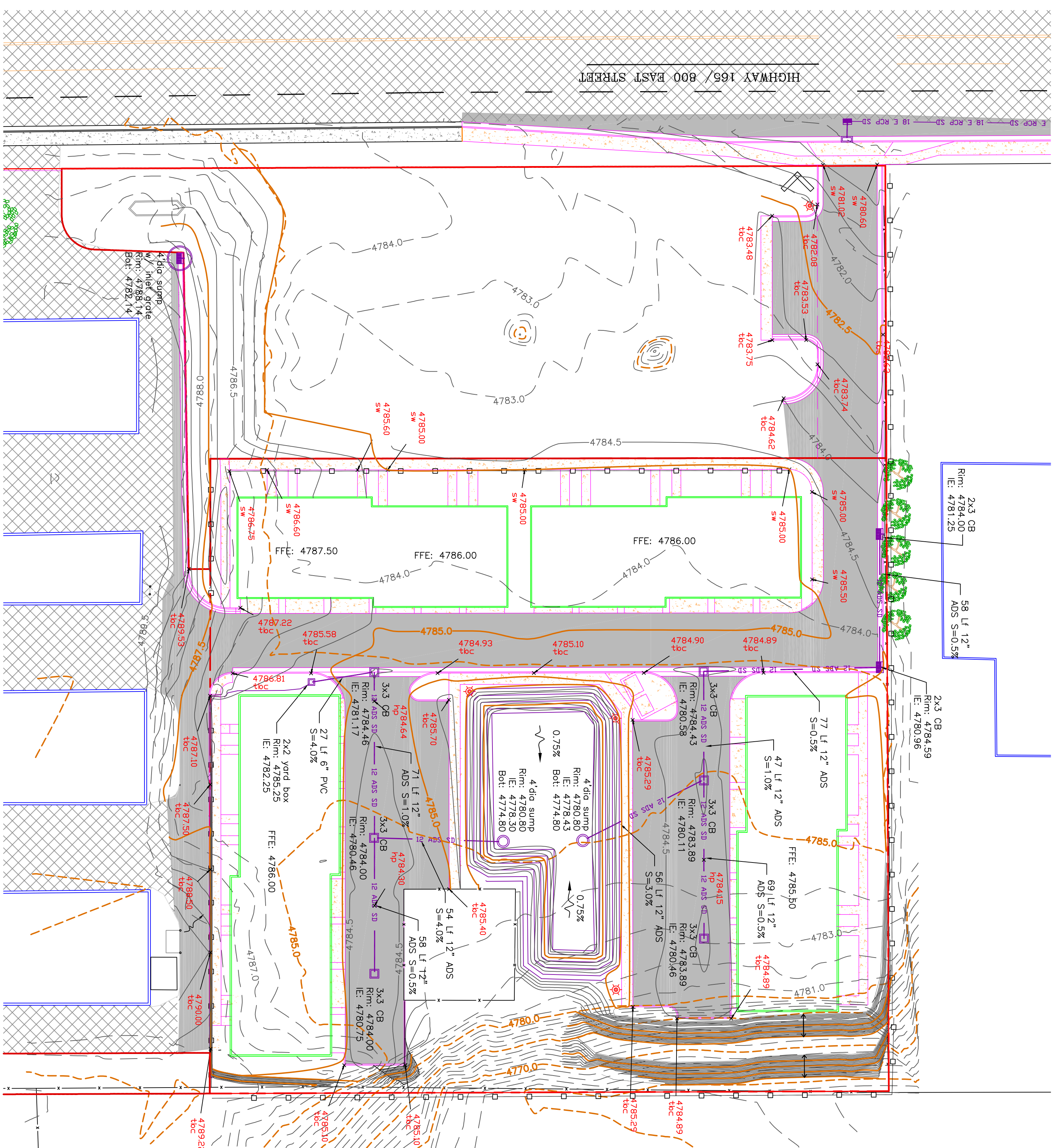
0 15 30 60
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LEGEND	
	PROPERTY LINE
	EXISTING STORM LINE/GB
	NEW STORM LINE/GB
	EXISTING MNR CONTOUR (1')
	EXISTING MNR CONTOUR (5')
	PROPOSED MNR CONTOUR (0.5')
	PROPOSED MNR CONTOUR (2.5')

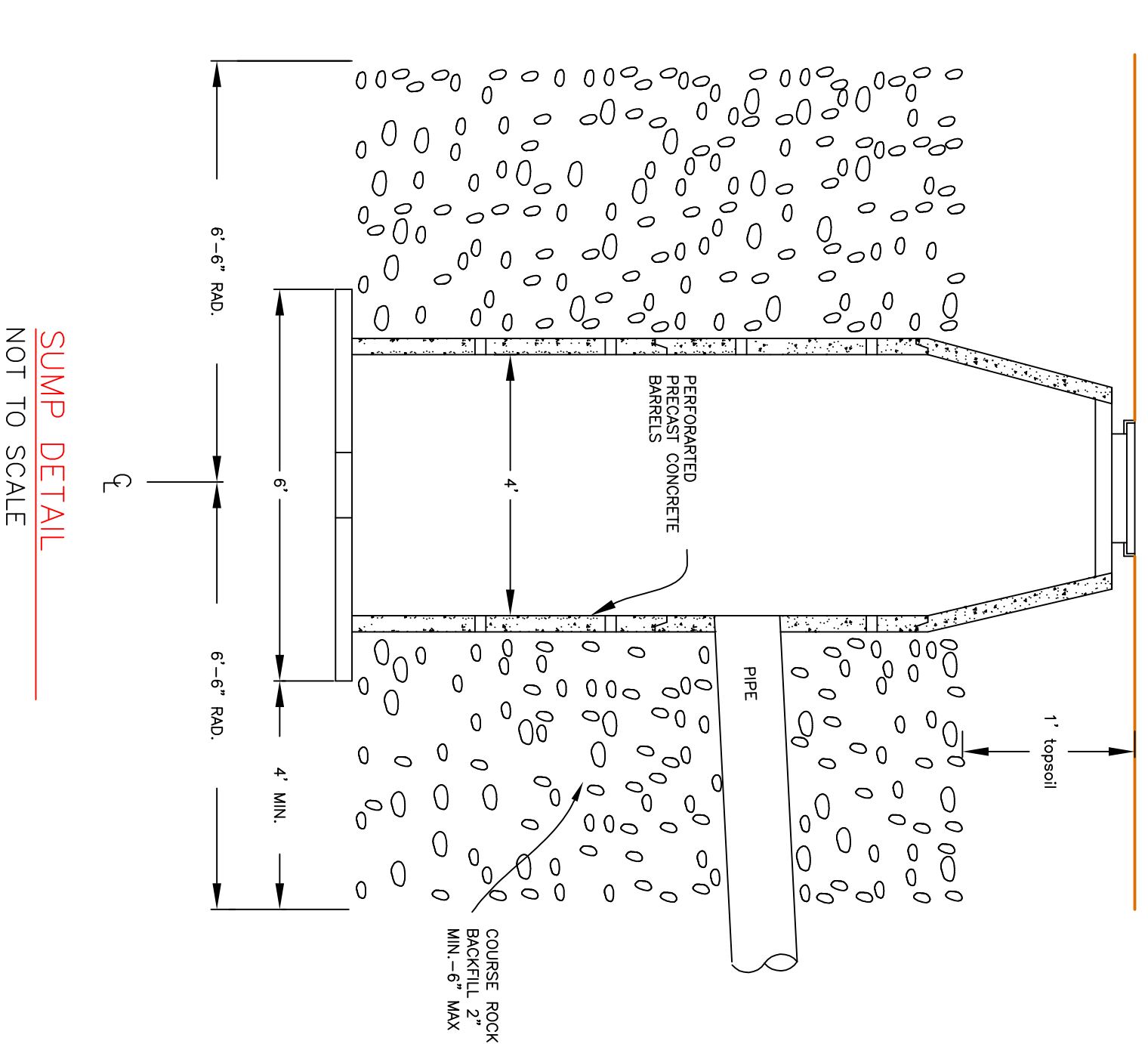
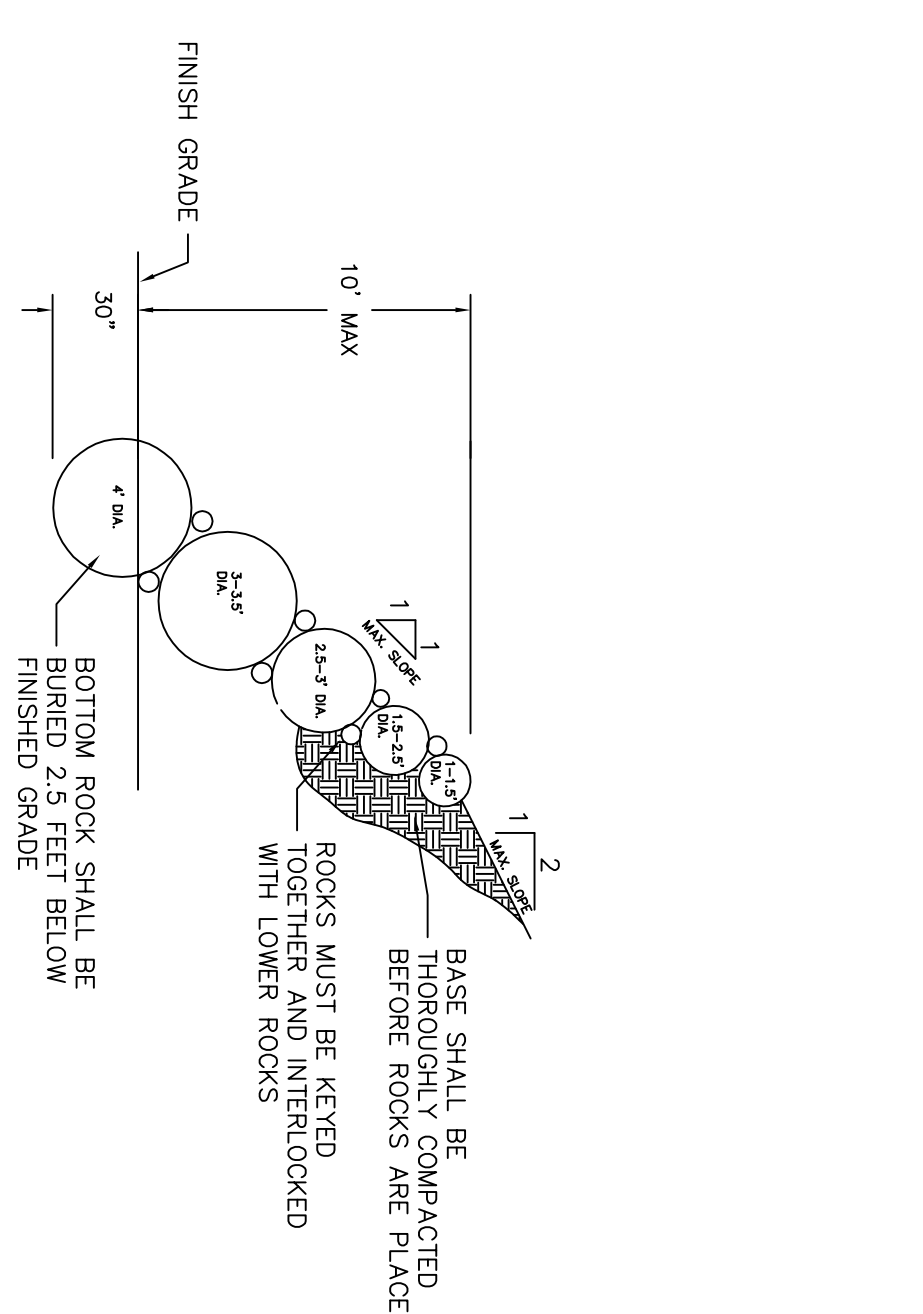
STORM WATER FOR THE COMMERCIAL AREA WILL BE RETAINED IN SUMPS LOCATED IN THE ROADS AND WILL BE CALCULATED AND DESIGNED WHEN SAID AREA IS SUBMITTED FOR FINAL DESIGN.

STORM DRAINAGE CALCULATIONS

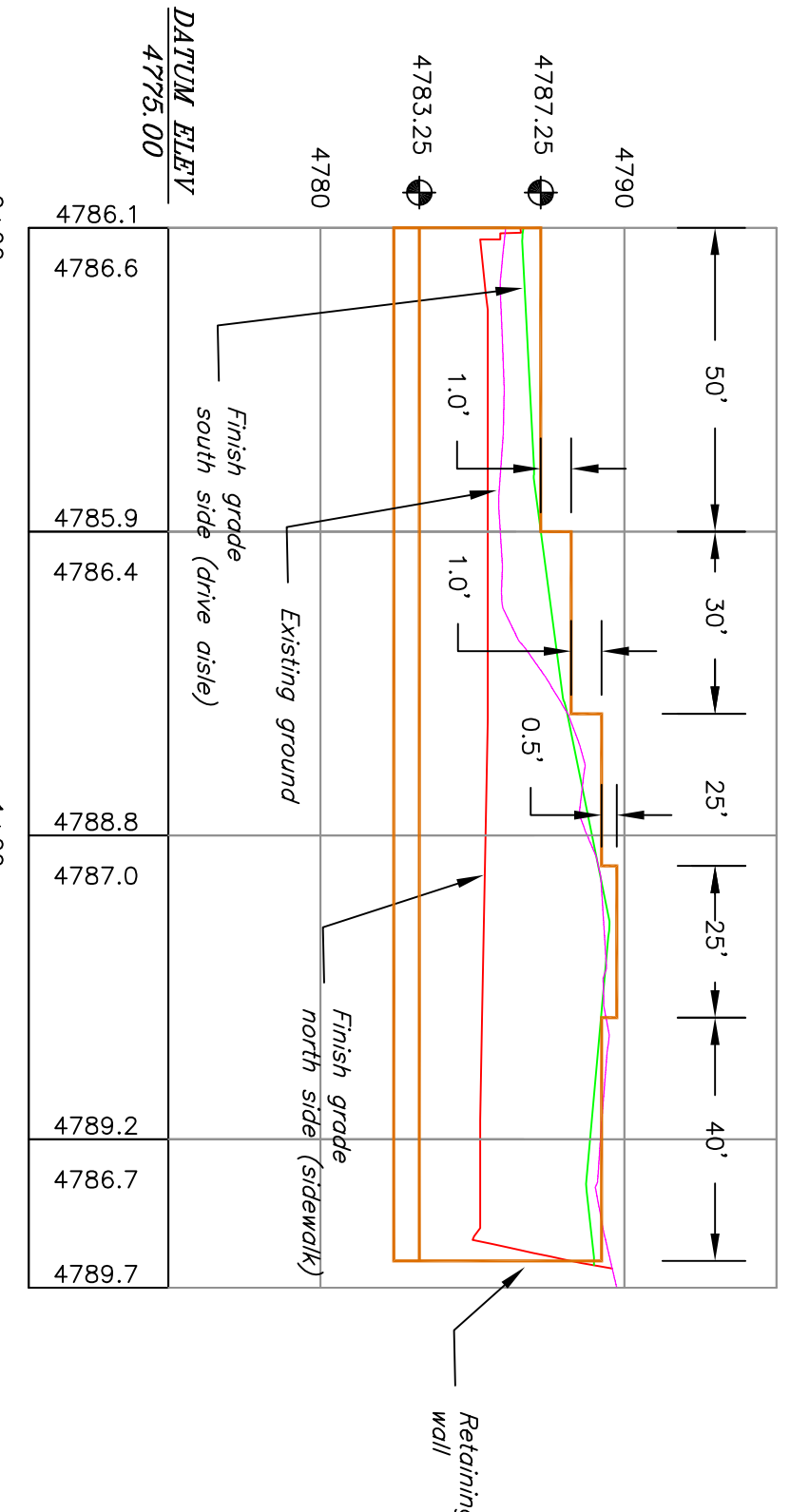
CONTRIBUTING DRAINAGE AREA: 70.158 S.E.(1.61 acres)
 IMPERVIOUS AREA: 29,870 acres Road
 24,300 SF Homes
 24,170 acres total
 C-IMPERVIOUS: 0.9
 C_A=48.753
 REMAINING UNDEVELOPED AREA: 15,988 S.F.
 C-UNDEVELOPED: 0.15
 C_A= 2,398
 C_{ADJUSTED} 51151/ 70,158 = 0.73
 LENGTH OF TYPICAL DRAINAGE PATH: 350 FEET
 TIME OF CONCENTRATION: 350/180 +10= 11.94 MIN
 1100=3.9 IN/HR
VOLUME REQUIRED FOR POND
 100 YR 24 HR STORM: 3.15 INCHES (NOAA ATLAS 14)
 100 YR 1 HOUR STORM: 0.243
 VOLUME: (3.15 IN)*(0.73)*(1.61 ACRES) = 13,444 CF



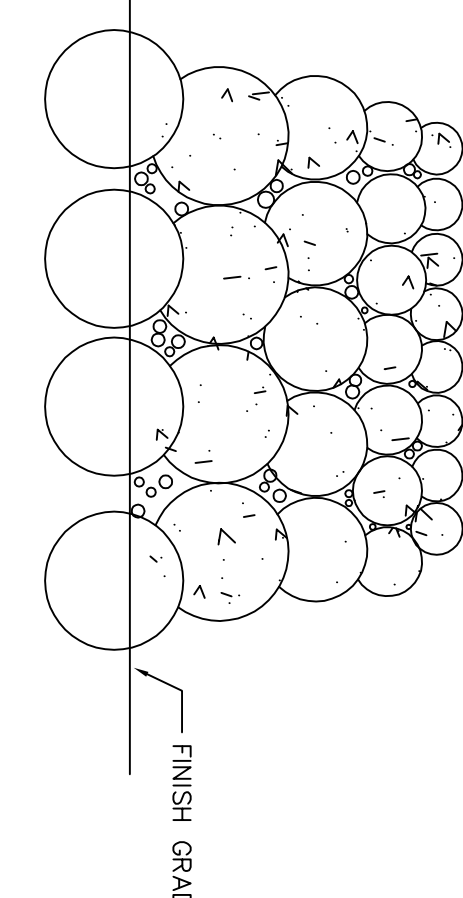
POND DETAIL



SUMP DETAIL
 NOT TO SCALE



CONCRETE WALL DETAIL
 1:400



ROCK WALL DETAIL

- NOTES:**
- 1) THE ROCKS SHALL BE HARD, DURABLE, AND ANGULAR. ROCKS SHOULD BE SET IN A MORTAR BED.
 - 2) THE ROCKS SHALL BE SET SO AS NOT TO EXCEED A 1 TO 1 SLOPE AS SHOWN.
 - 3) LARGE IRREGULARITIES BETWEEN STONES SHALL BE FILLED WITH ROCK SPALLS OF SUITABLE SIZE RAMMED TIGHTLY INTO PLACE FROM THE BOTTOM TO THE TOP.

REVISION	DATE	BY

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COBBLECREEK TOWNHOMES DRAINAGE PLAN

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APPROVED BY: BL
 DWG DATA: Jshel@alliance.com

SHEET 7 OF 7