

**CACHE COUNTY ROAD DEPARTMENT FACILITY
SITE PLAN
~400 NORTH 1000 EAST
CITY COUNCIL MEETING
SEPTEMBER 19, 2019**

ZONING- Being annexed in at M-2 (Medium to Heavy Manufacturing)

UTILITIES- All available near site. Utilities are located on the Kilgore property to the south and along Hwy 165.

PARKING & ROADS- As shown- Access to the area will be from two roads. The truck access will be shared with Kilgore Company on their existing access. The employee vehicles will use the existing northern entrance. It is currently a dirt road that will be asphalted.

LIGHTING- See electrical plan

LANDSCAPPING- As shown around administration building

STORMWATER- As shown- Storm water pond- Drainage is good in this area

SIGNAGE-

NOTES- The engineer on this project has been working with Nibley to make sure that their water source & reservoir that is near this area is protected. This property is in the process of being annexed into the city so approval must be conditioned on completion of annexation. They would like to have the site plan approved while the annexation is in process so that they can save some time so that they will have the opportunity to get concrete and other weather sensitive items started so they will be able to continue the project thru the winter. This location will house the road & weed departments for the County. This should fit in well with the Kilgore and Parson operations already in the area. The Planning Commission recommends approval as proposed.



CACHE COUNTY ROAD DEPARTMENT RELOCATION

AUGUST 21, 2019

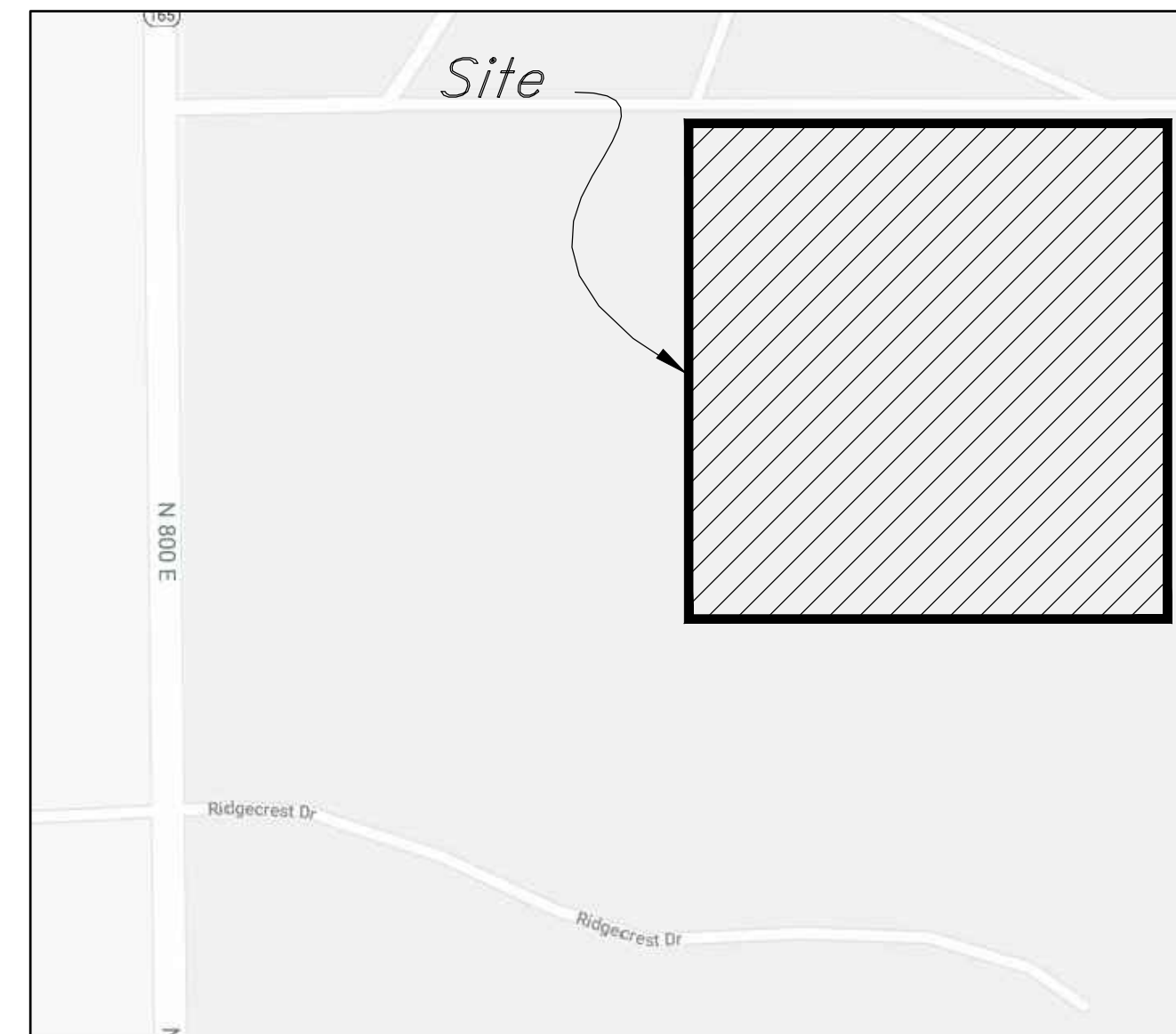
Cache County is currently working with Hyrum City in order to annex a recently purchased parcel of property into the Hyrum City Boundary (parcel 03-066-0044). As you are aware, Cache County plans to construct a new Road and Weed Department Facility on this parcel consisting of multiple out buildings and an administrative office. Due to the project schedule, and in order to facilitate the starting of construction prior to winter weather, Cache County would like to request that the site plan for the Road and Weed Department Facility be reviewed at the same time that the annexation process for the property is being conducted. Please let me know if there is any additional information is needed for this request.

Josh Runhaar, Director of Development Services
Cache County

Cache County Operations Center

Hyrum, Utah

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Vicinity Map
Not to Scale

Abbreviations			
BCR	Begin Curb Return	PVC	Polyvinyl Chloride
BOL	Ballard	PVI	Point of Vertical Intersection
BRW	Finish Grade - Bottom of Retaining Wall	RCP	Reinforced Concrete Pipe
CATV	Cable Television Box	RD	Roof Drain
CB	Catch Basin	SB	Signal Box
CMP	Corrugated Metal Box	SD	Storm Drain
COB	Cleanout Box	SDMH	Storm Drain Manhole
COTG	Cleanout to Grade	SMH	Sewer Manhole
EA	Edge of Asphalt	SP	Signal Pole
EB	Electrical Box	SS	Sanitary Sewer
EC	End of Curve	SVZ	Sight Visibility Zone
EDR	End Curb Return	SW	Secondary Water
GB	Grade Break	TA	Top of Asphalt
GM	Gas Meter	TB	Telephone Box
HB	Hose Bib	TBC	Top Back of Curb
HP	High Point	TG	Top of Grate
I	Irrigation Line	TMH	Telephone Manhole
ICB	Irrigation Control Box	TP	Top of Concrete
Lip	Lip of Gutter	TRW	Finish Grade - Top of Retaining Wall
LP	Light Pole	TW	Top of Walk
MH	Manhole	VC	Vertical Curve
Mon	Monument	VPC	Vertical Point of Curve
PC	Point of Curvature	VPT	Vertical Point of Tangency
PCC	Point of Compound Curvature	WL	Waterline
PM	Power Meter	WP	Working Point
PP	Power Pole	WV	Water Valve
PT	Point of Tangency		

Legend			
Proposed Curb & Gutter		Existing Improvements	
Proposed Open Face C & G		Existing Asphalt	
Proposed Asphalt		Existing Concrete	
Proposed Concrete		Existing Inlet Box	
Proposed Truncated Domes		Existing Catch Basin	
Proposed Inlet Box		Existing Manhole	
Proposed Catch Basin		Existing Fire Hydrant	
Proposed Manhole		Existing Water Valve	
Proposed Transformer		Existing Overhead Power Line	
Proposed Meter Box		Existing Water	
Proposed Water Meter		Existing Secondary Water	
Proposed Combo Box		Existing Sewer	
Proposed Fire Hydrant		Existing Storm Drain	
Proposed Water Valve		Existing Gas	
Proposed Water Line		Existing Power	
Proposed Sanitary Sewer		Existing Telephone	
Proposed Storm Drain		Existing Fence	
Proposed Conduit Line		Flowline	
Proposed Power Line		Centerline	
Proposed Gas Line		Existing Contour	
Proposed Secondary Water Line		Existing Spot	
Proposed Roof Drain		Existing Light Pole	
Proposed Fence		Existing Street Light	
Ridge line		Existing Building	
Grade Break		Existing Telephone Box	
Proposed Contour		Existing Power Meter	
Direction of Drainage		Existing Electrical Box	
Proposed Spot		Existing Electrical Cabinet	
ADA Accessible Route		Existing Gas Meter	
Property Line		Existing Water Meter	
Sawcut Line		Existing Irig. Control Box	
Proposed Light Pole		Existing Inlet Box	
Proposed Street Light		Existing Hose Bib	
Proposed Building		Working Point	
Existing Power Pole		Existing Deciduous Tree	
Existing Power Pole w/ Guy		Existing Coniferous Tree	
Existing Utility Marker			
Existing Post			
		Detail Number	
		Sheet Number	

Civil Sheet Index

- CV Cover Sheet
- C1.0 Overall Site Plan
- C1.1 Site Plan
- C1.2 Site Plan
- C2.1 Grading Plan
- C2.2 Grading Plan
- C3.1 Utility Plan
- C3.2 Utility Plan
- C4.1 Details
- C4.2 Details
- C4.3 Details

Property Owner:
Cache County Corp.
Address:
179 North Main
Logan, UT 84321

AWA
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
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Cache County
Operations Center
Administration Building + Site
Cover Sheet
Hyrum, Utah

CV

revisions

date: August 15, 2019
project no.: 19-126
Schematic Design

WA\19-126 Cache County Operations Center\Drawings\19-126-Civil.dwg, 8/19/2019, 4:51:04 PM, 1:1

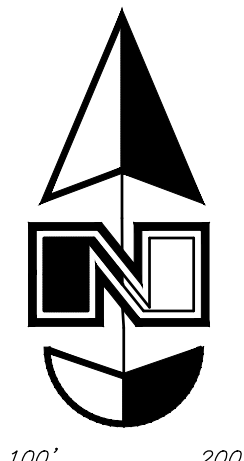
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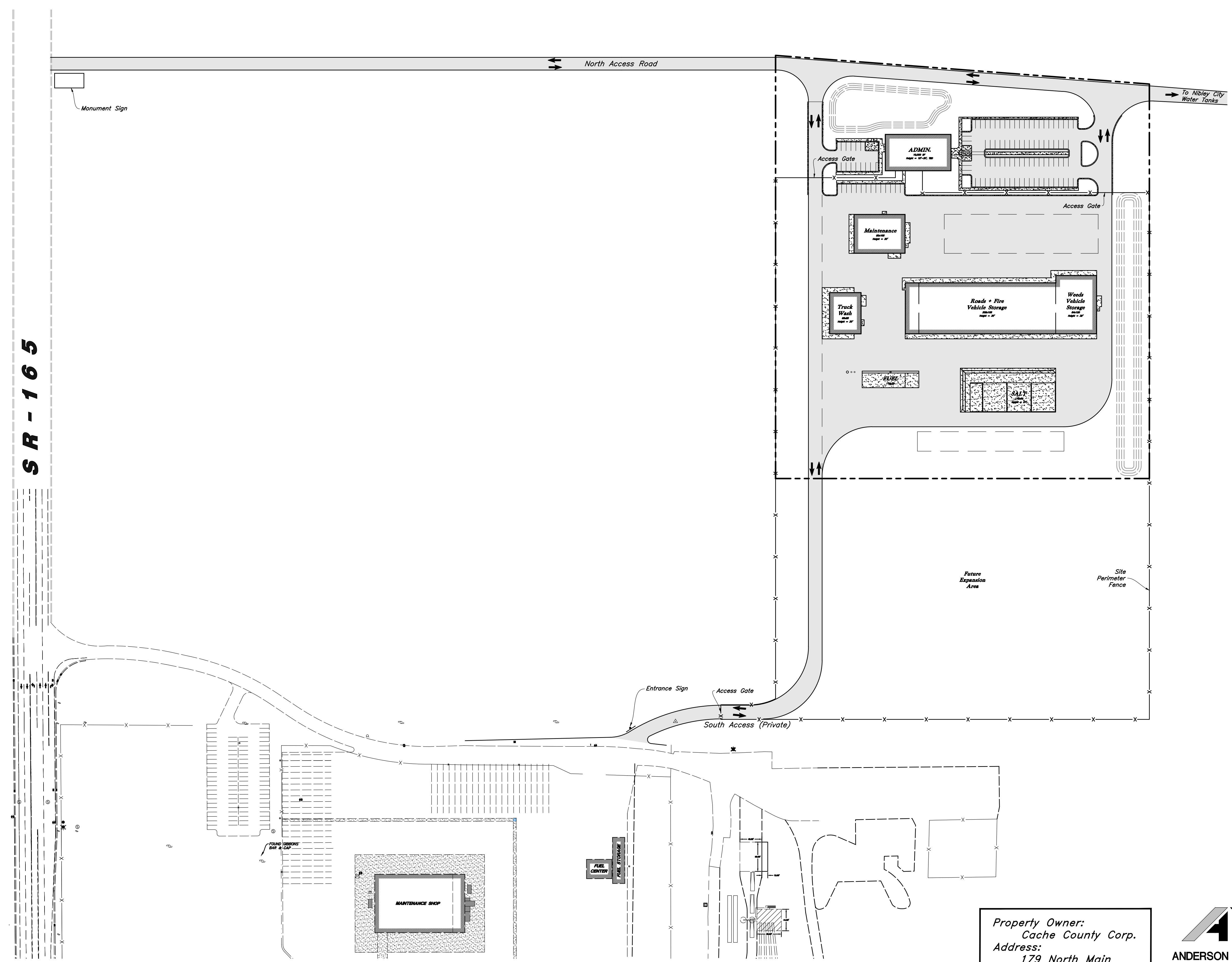
date: August 09, 2019
project no.: 19-126
Schematic Design

Cache County
Operations Center
Administration Building + Site
Overall Site Plan
Hyrum, Utah

C1.0



Scale: 1" = 100'



Property Owner:
Cache County Corp.
Address:
179 North Main
Logan, UT 84321



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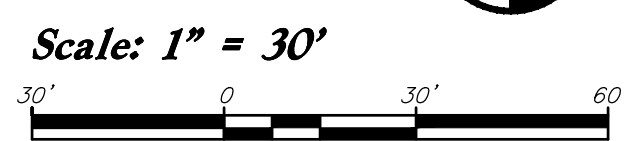
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date: August 15, 2019
project no.: 19-126
Schematic Design

Cache County
Operations Center
Administration Building + Site
Site Plan
Hyrum, Utah

Site Data
Site Area = 640,341 s.f. (14.7 ac.)
Landscape Area Provided = 240,988 s.f. (37.6%)
Impervious Area Provided = 322,508 s.f. (50.4%)
Building Area = 76,845 s.f. (12.0%)
Parking Provided = 104 stalls (10.4/1,000)



Site Construction Notes

- 1 Const. 24" Curb & Gutter
- 2 Const. Asphalt Paving
- 3 Const. Conc. Sidewalk
- 4 Const. Thickened Edge Sidewalk
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) White Symbol & Border, Blue Background Contractor shall provide 15 mils min. thickness (See Sheet C2.1 for Accessible Details and Notes)
- 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Sheet C2.1 for Accessible Details and Notes)
- 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Sheet C2.1 for Accessible Details and Notes)
- 8 Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Sheet C2.1 for Accessible Details and Notes)
- 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
- 10 Const. Conc. Paving
- 11 Sawcut: Provide Smooth Clean Edge
- 12 Dumpster Enclosure (See Arch. Plans)
- 13 Const. Directional Arrows per MUTCD
- 14 Const. 24" White Stop Bar
- 15 Const. Conc. Wheel Stop
- 16 Const. Stop Sign per MUTCD R1-1
- 17 Conn. & Match Existing Improvements
- 18 Const. Fence

General Site Notes:

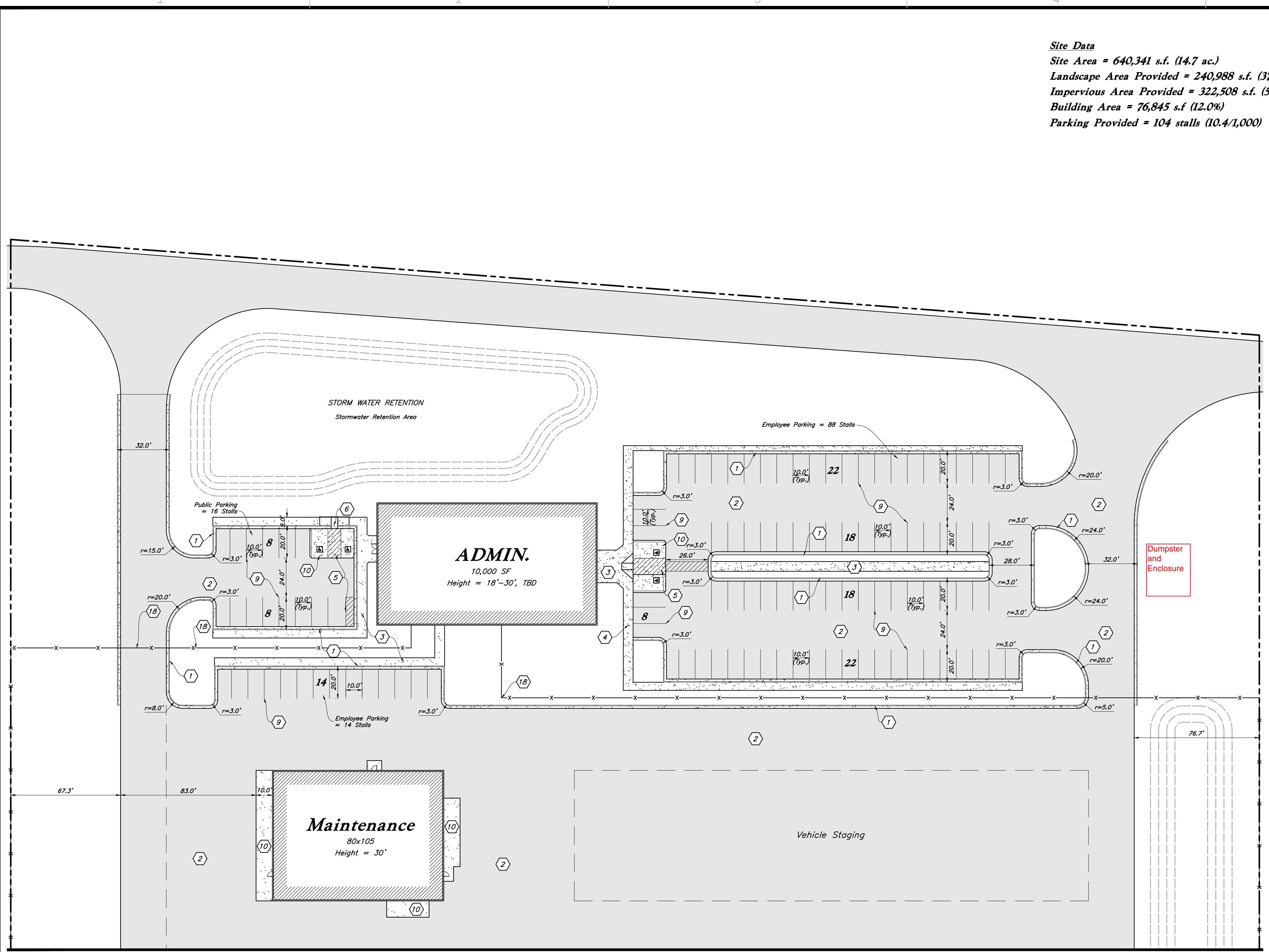
1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Survey Control Note:
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.



Match Line C12

Property Owner:
Cache County Corp.
Address:
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C1.1

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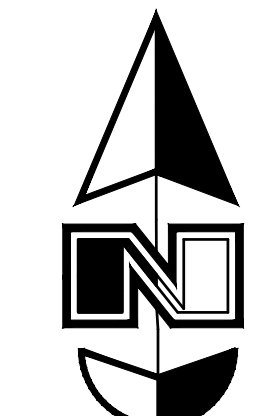
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date: August 15, 2019
project no.: 19-126
Schematic Design

Cache County
Operations Center
Administration Building + Site
Site Plan
Hyrum, Utah

C1.2



Scale: 1" = 30'

Site Data
Site Area = 640,341 s.f. (14.7 ac.)
Landscape Area Provided = 240,988 s.f. (37.6%)
Impervious Area Provided = 322,508 s.f. (50.4%)
Building Area = 76,845 s.f. (12.0%)
Parking Provided = 104 stalls (10.4/1,000)

Site Construction Notes

- 1 Const. 24" Curb & Gutter (C4.1)
- 2 Const. Asphalt Paving (C4.1)
- 3 Const. Conc. Sidewalk (C4.1)
- 4 Const. Thickened Edge Sidewalk (C4.1)
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) White Symbol & Border, Blue Background Contractor shall provide 15 mils min. thickness (See Sheet C2.1 for Accessible Details and Notes)
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- 8 Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Sheet C2.1 for Accessible Details and Notes)
- 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness (C4.1)
- 10 Const. Conc. Paving (C4.1)
- 11 Sawcut; Provide Smooth Clean Edge
- 12 Dumpster Enclosure (See Arch. Plans)
- 13 Const. Directional Arrows per MUTCD
- 14 Const. 24" White Stop Bar (C4.1)
- 15 Const. Conc Wheel Stop (C4.1)
- 16 Const. Stop Sign per MUTCD R1-1
- 17 Conn. & Match Existing Improvements
- 18 Const. Fence

General Site Notes:

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5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.

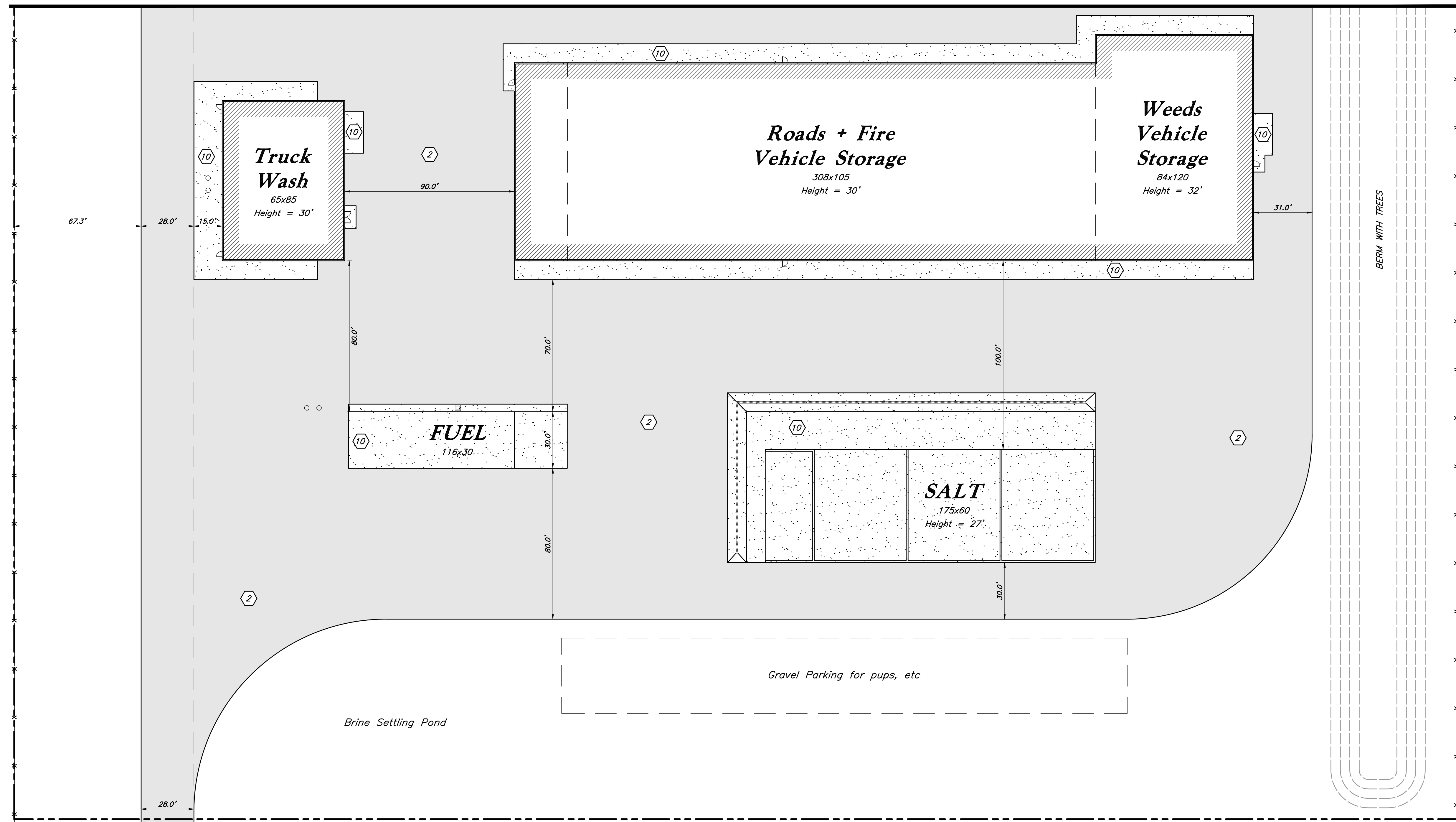
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Match Line C11



Property Owner:
Cache County Corp.
Address:
179 North Main
Logan, UT 84321

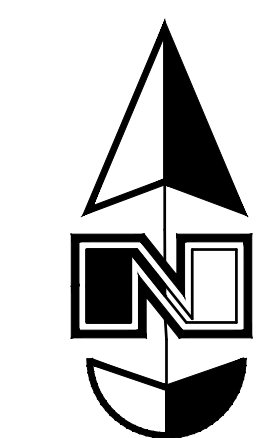
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date: August 15, 2019
project no.: 19-126
Schematic Design

Cache County
Operations Center
Administration Building + Site
Grading Plan
Hyrum, Utah



Scale: 1" = 30'

General Grading Notes:

- All grading shall be in accordance with the project geotechnical study.
- Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
- Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
- Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
- Fills shall be benched into competent material as per specifications and geotechnical report.
- All trench backfill shall be tested and certified by a Geotechnical Engineer.
- A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
- The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
- Dust shall be controlled by watering.
- The location and protection of all utilities is the responsibility of the permittee.
- Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
- All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
- The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
- The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
- Aggregate base shall be compacted per the geotechnical report prepared for the project.
- The recommendations in the following Geotechnical Engineering Report by _____ are included in the requirements of grading and site Preparation. The Report is titled _____

Project No.:
Dated:

- As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
- If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.

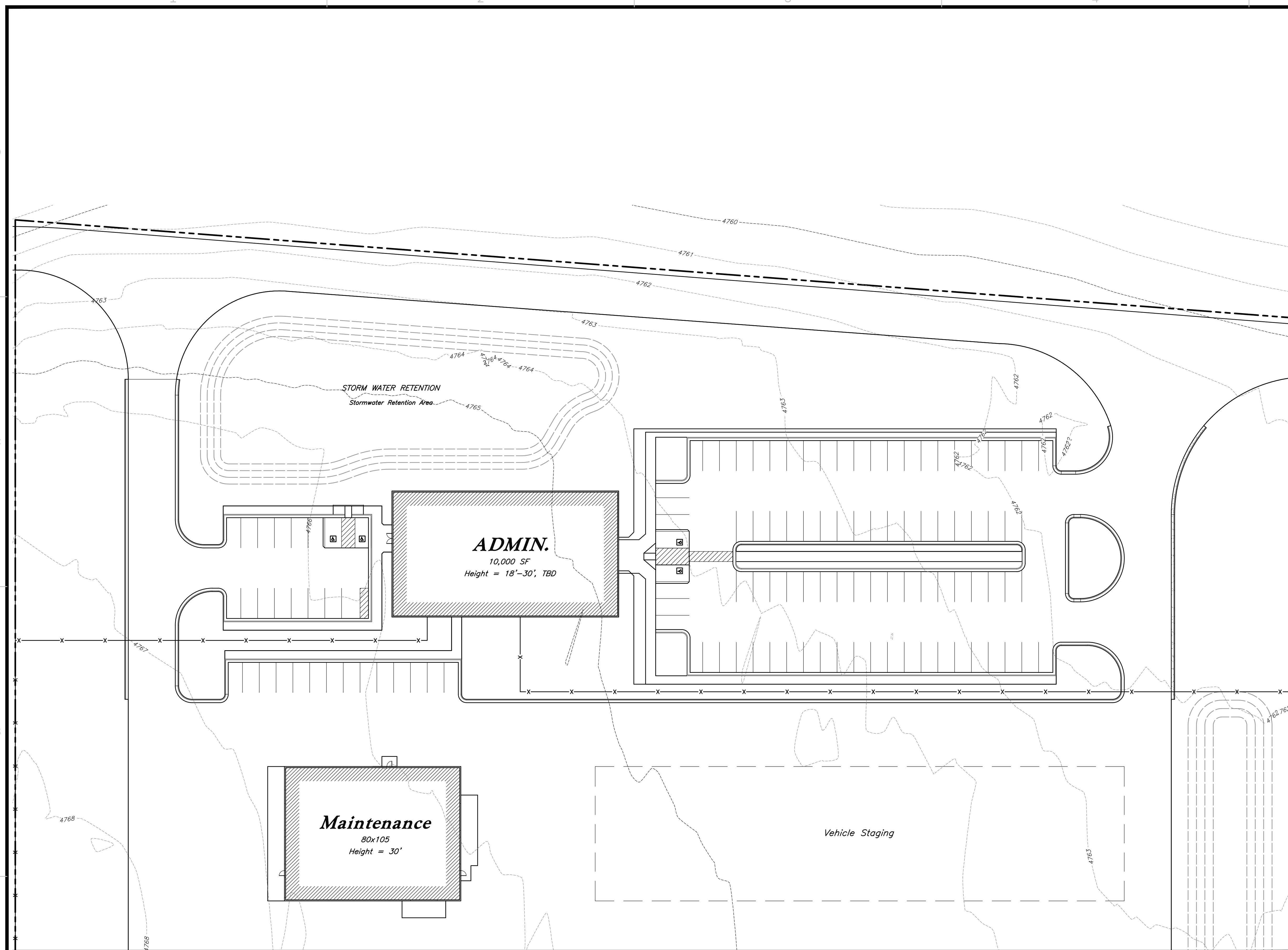
Curb and Gutter Construction Notes:

- Open face gutter shall be constructed where drainage is directed away from curb.
- Open face gutter locations are indicated by shading and notes on the grading plan.
- It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
- Refer to the typical details for standard and open face curb and gutter dimensions.
- Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
- Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

Sidewalk Construction Notes:

- Concrete sidewalk shall be constructed with a cross slope of 1.5% (2.08% Maximum) unless shown otherwise on plan.
- Running slope of sidewalks shall be built per grades shown on the plan, where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
- Refer to the Site Plan for sidewalk dimensions.

Match Line C2.2



Property Owner:
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Address:
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Logan, UT 84321

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C2.1

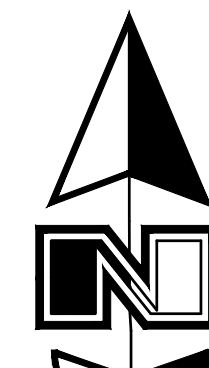
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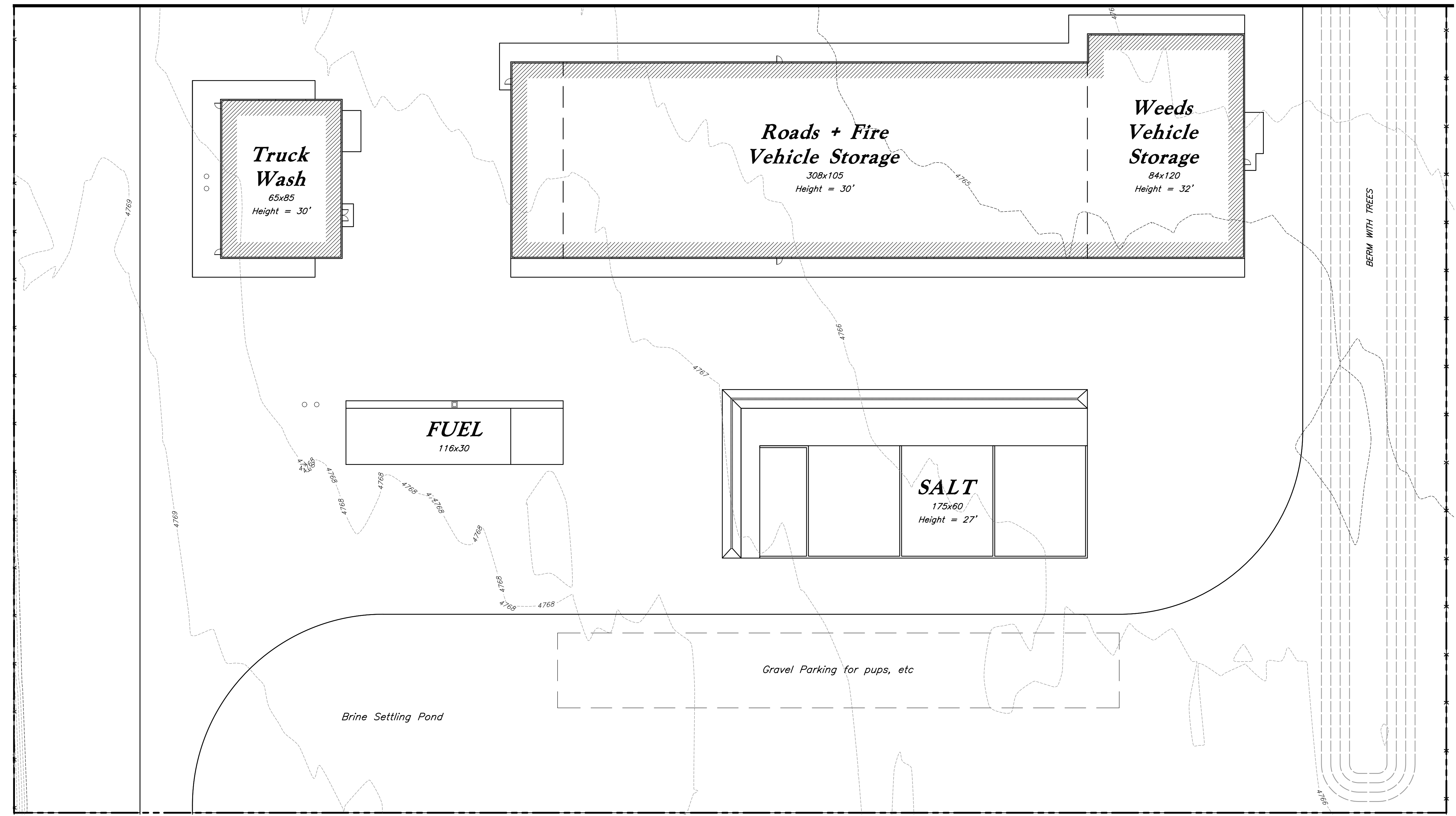
date: August 15, 2019
project no.: 19-126
Schematic Design

Cache County
Operations Center
Administration Building + Site
Grading Plan
Hyrum, Utah



Scale: 1" = 30'
30' 0 30' 60'

Match Line C21



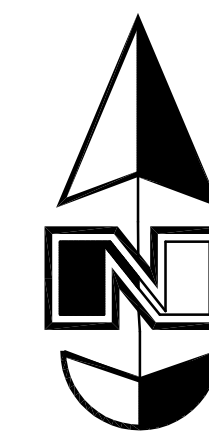
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C2.2

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Scale: 1" = 30'

General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spoils to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter); Type "K."

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter); AWWA C900, Class 200

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type FSM, SDR 35

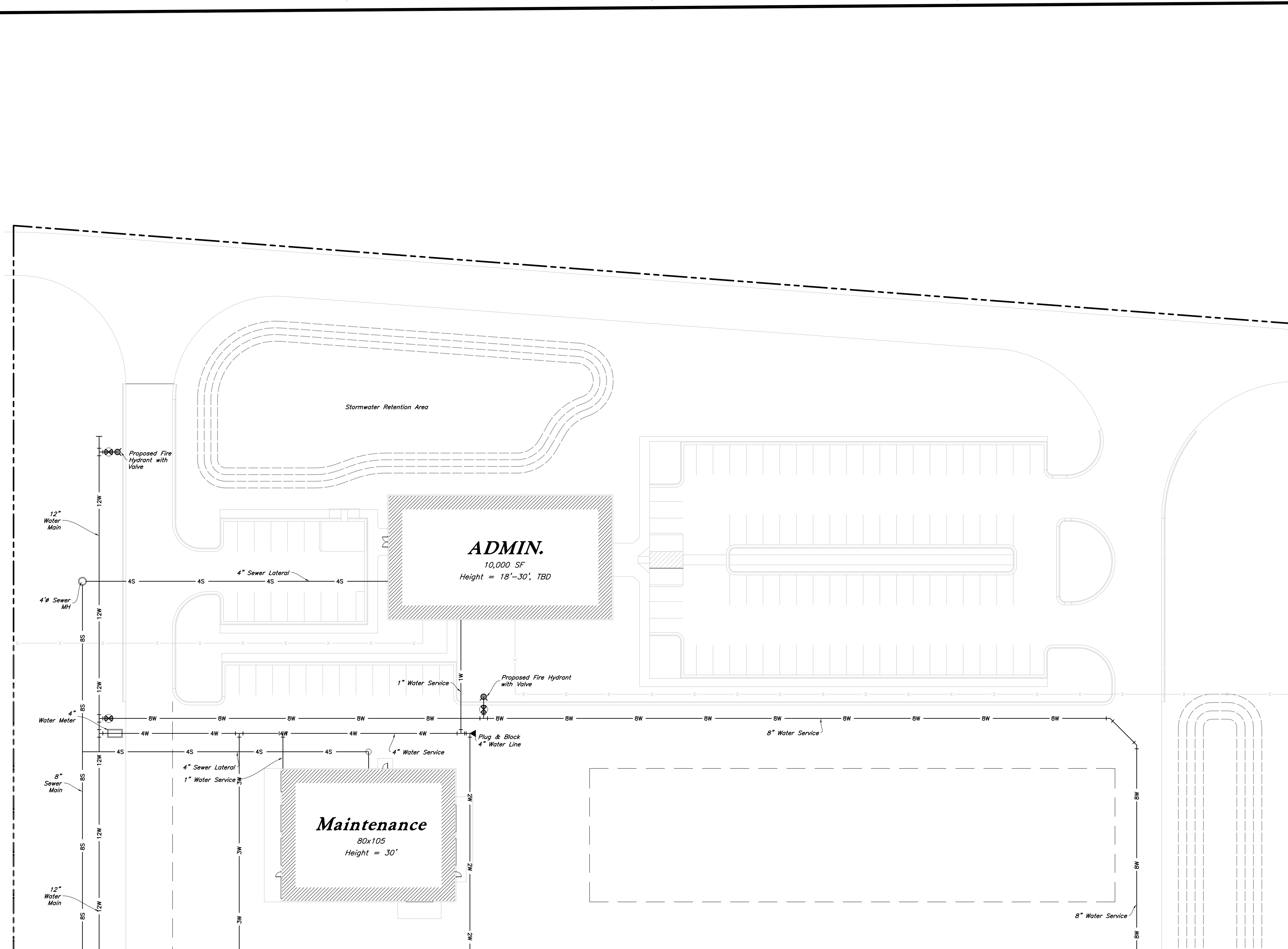
Storm Drain Lines

1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

Building Data	
Type:	x
Square Footage:	x
Fire Sprinkled:	x
Building Height:	x
Fire Flow Required:	x

CAUTION :
The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Storm Drain Note:
All Storm Drainage Pipe Lengths and Slopes are from Center of Box to Center of Box.



Match Line C3.2

Property Owner:
Cache County Corp.
Address:
179 North Main
Logan, UT 84321



revisions

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Schematic Design

Cache County
Operations Center
Administration Building + Site
Utility Plan
Hyrum, Utah

C3.1

D

C

B

A

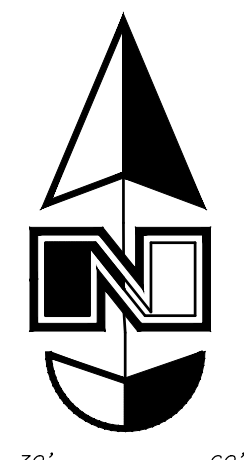
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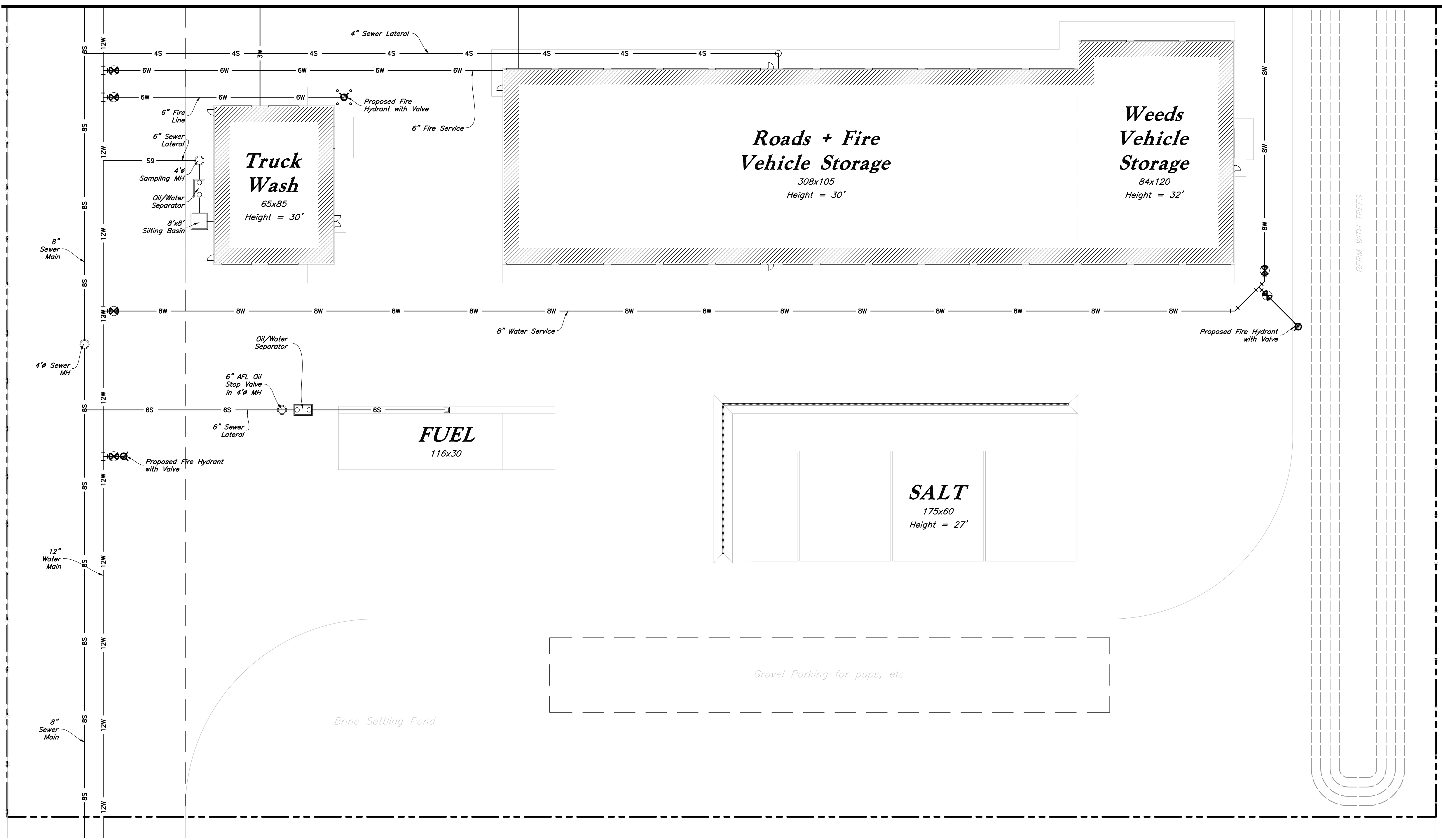


Scale: 1" = 30'

Waterline Keynotes

- ① 90° Waterline Bend
- ② 45° Waterline Bend
- ③ 22.5° Waterline Bend
- ④ 11.25° Waterline Bend
- ⑤ 8" Gate Valve
- ⑥ 10" Gate Valve
- ⑦ 10" Tee
- ⑧ 10"x10"x8" Tee
- ⑨ 10"x8" Reducer
- ⑩ 8" Tee
- ⑪ 8"x8"x6" Tee
- ⑫ 8"x6" Reducer
- ⑬ 6" Gate Valve
- ⑭ 2" Meter & Vault Complete per WJ CW-130A
- ⑮ Const. Fire Hydrant with Valve per WJ Std. CW-170
- ⑯ Install Private 6" Fire Line into Building w/ Flange 6" above Finish Floor; Coordinate Final Location w/ Fire Sprinkler Contractor
- ⑰ 1-1/2" Meter & Vault Complete per WJ CW-130A

Match Line C3.1



Call before you Dig.
1-800-227-2600
UNDERGROUND SERVICE ALERT (USA)

Call before you OVERHEAD
1-702-227-2929
NEVADA POWER ENVIRONMENT AND SAFETY SERVICES DEPARTMENT

PVC Pipe Protection During Construction:
PVC Pipe must have 24" cover for heavy construction loading during construction. The Contractor is responsible to temporarily protect any pipes with less than 24" cover by berming over the pipes.

Property Owner:
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C3.2

W:\19-126 Cache County Operations Center\Drawings\19-126-UT.dwg, 8/19/2019, 4:30:43 PM, 1:1

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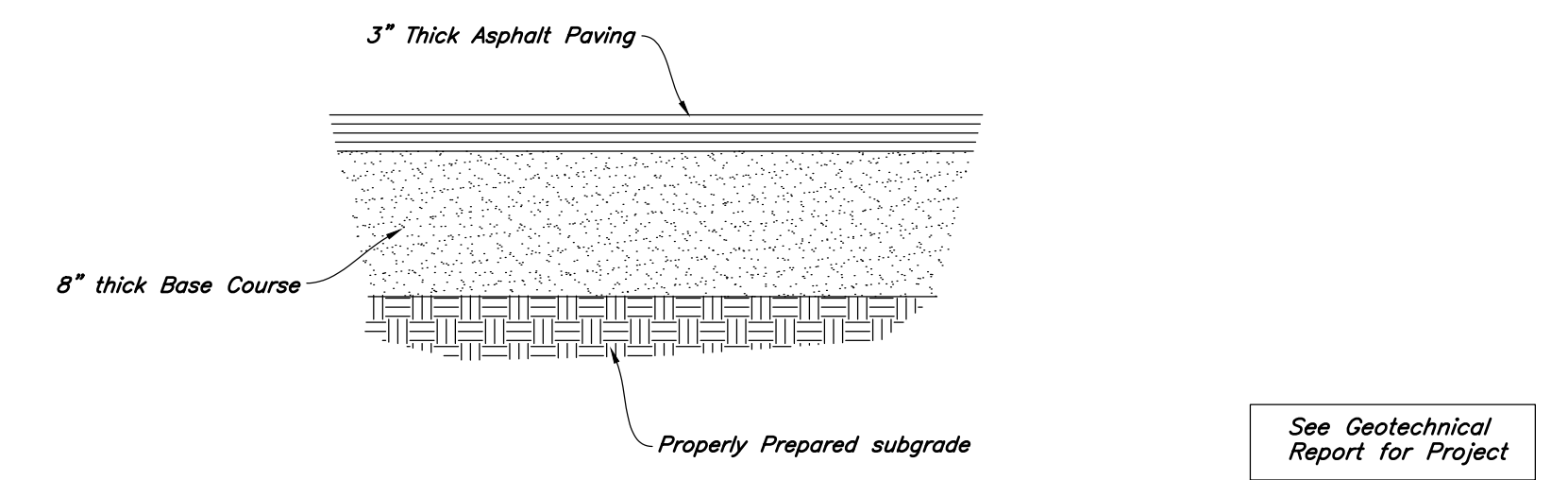
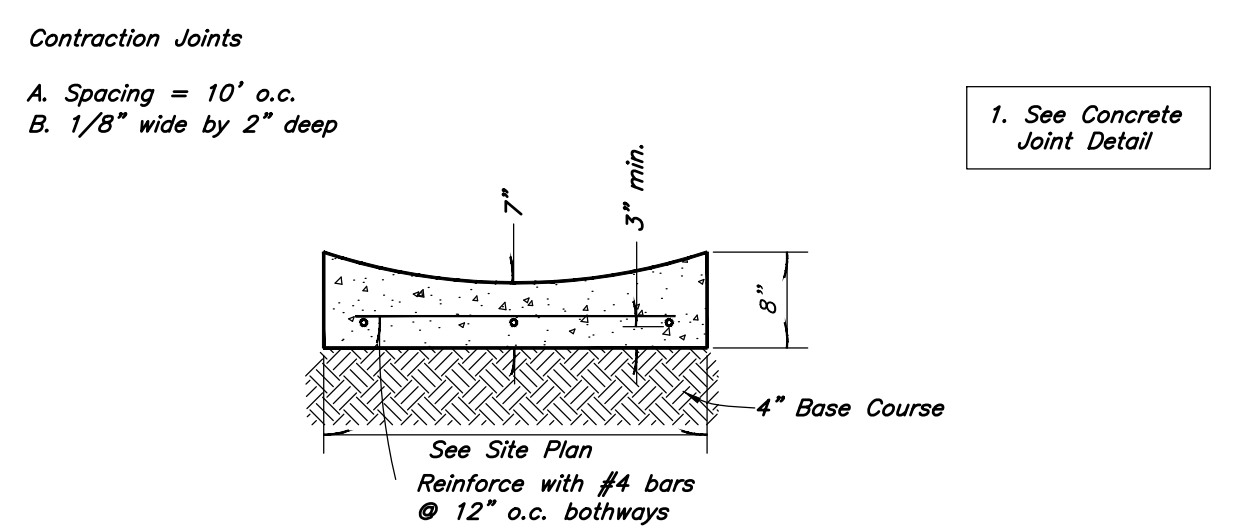
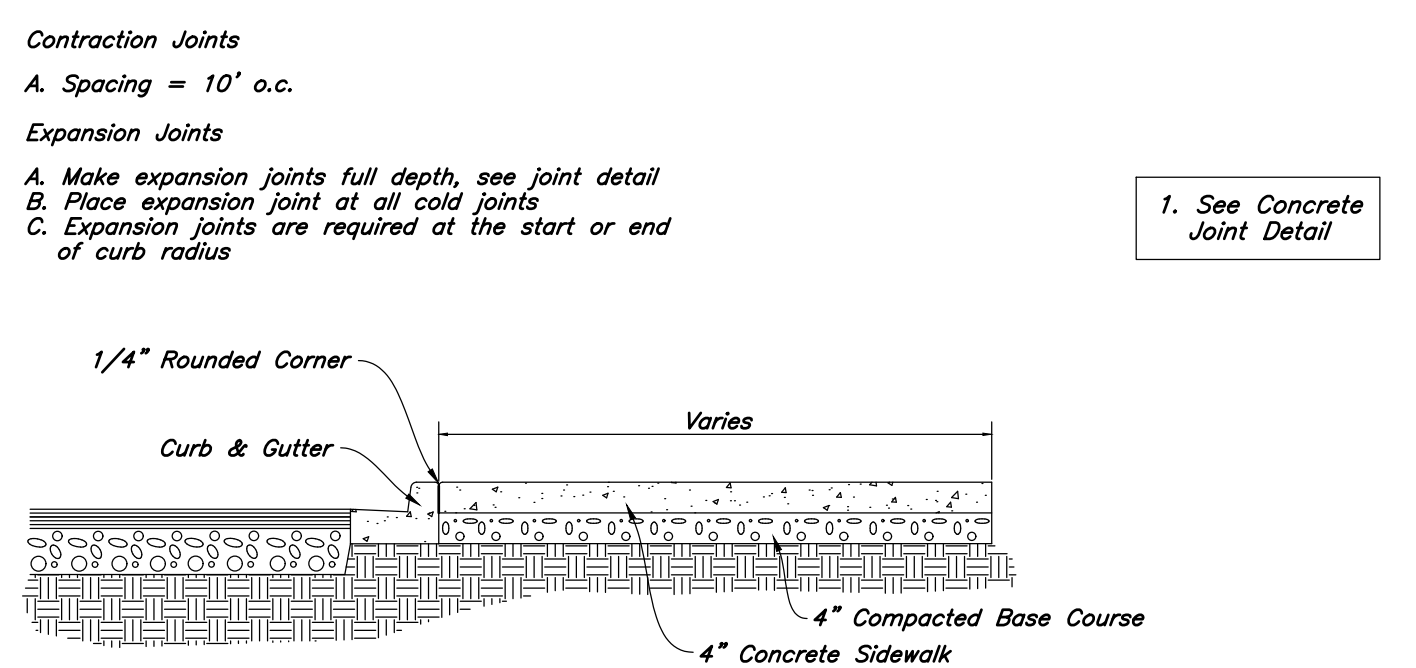
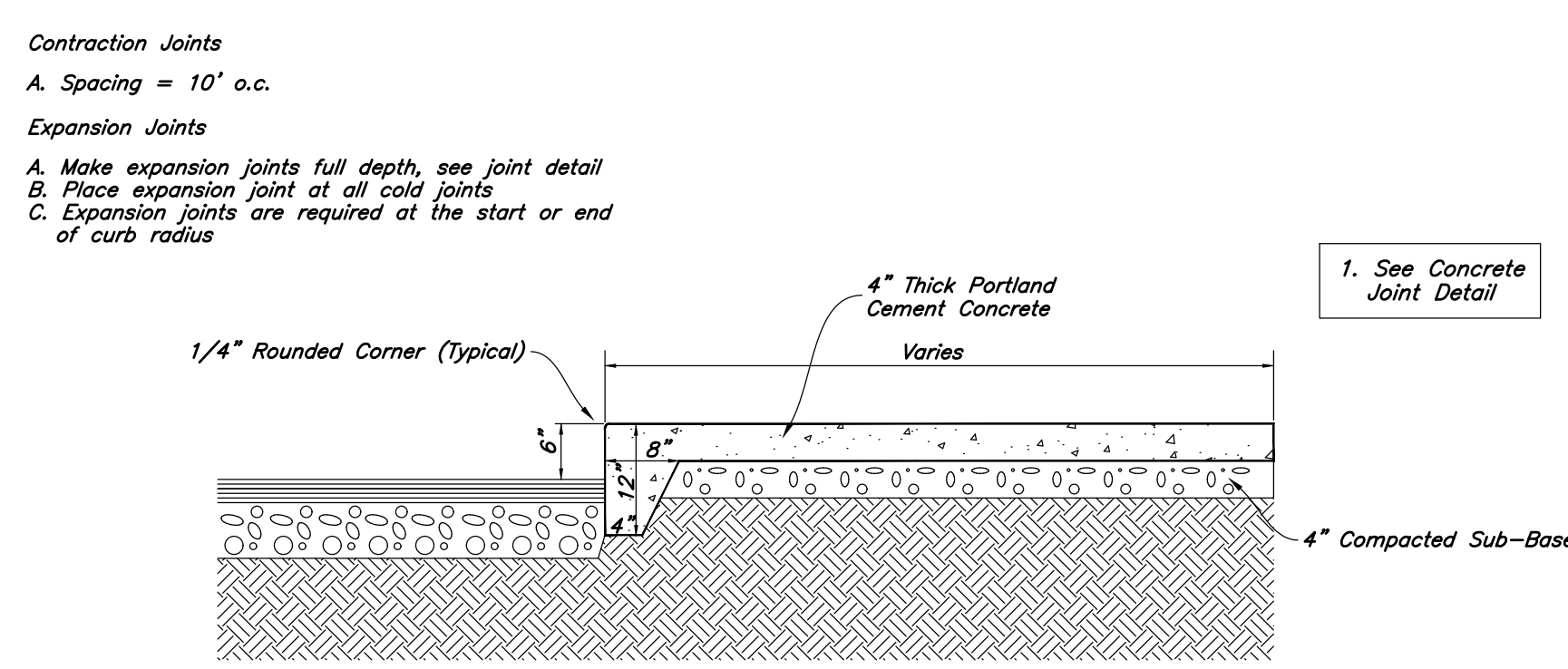
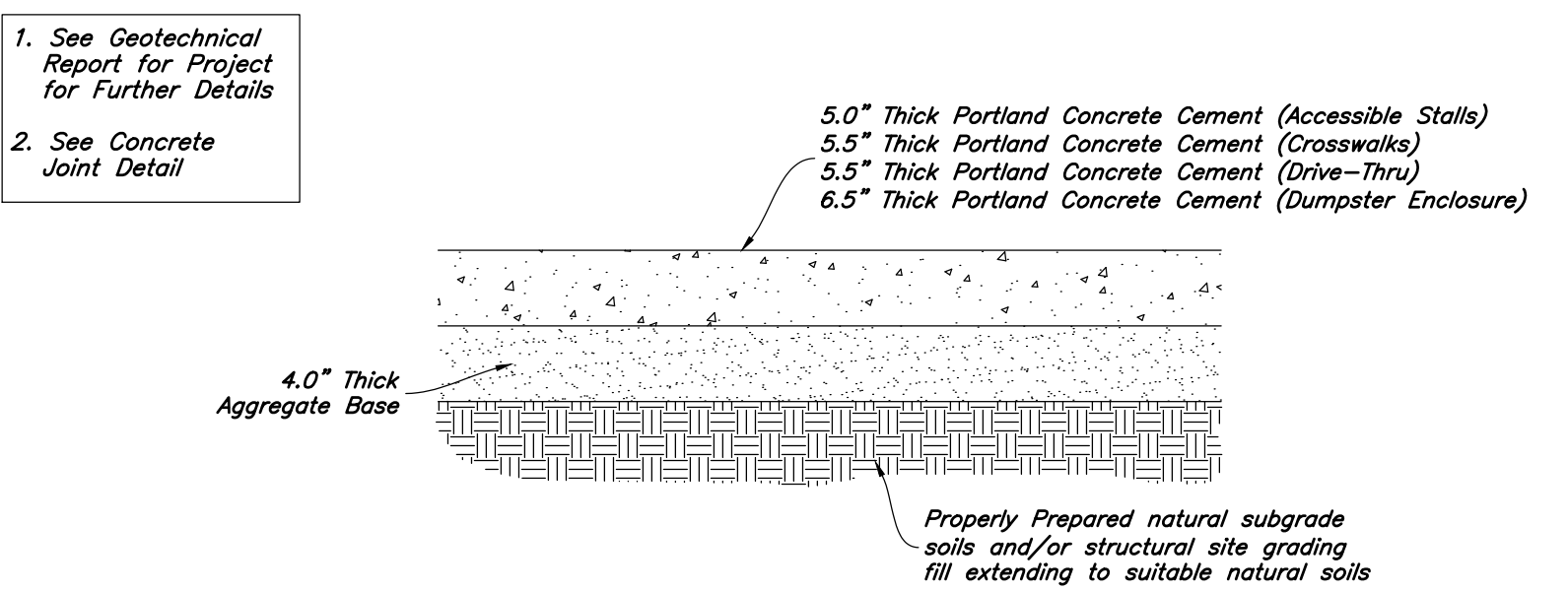
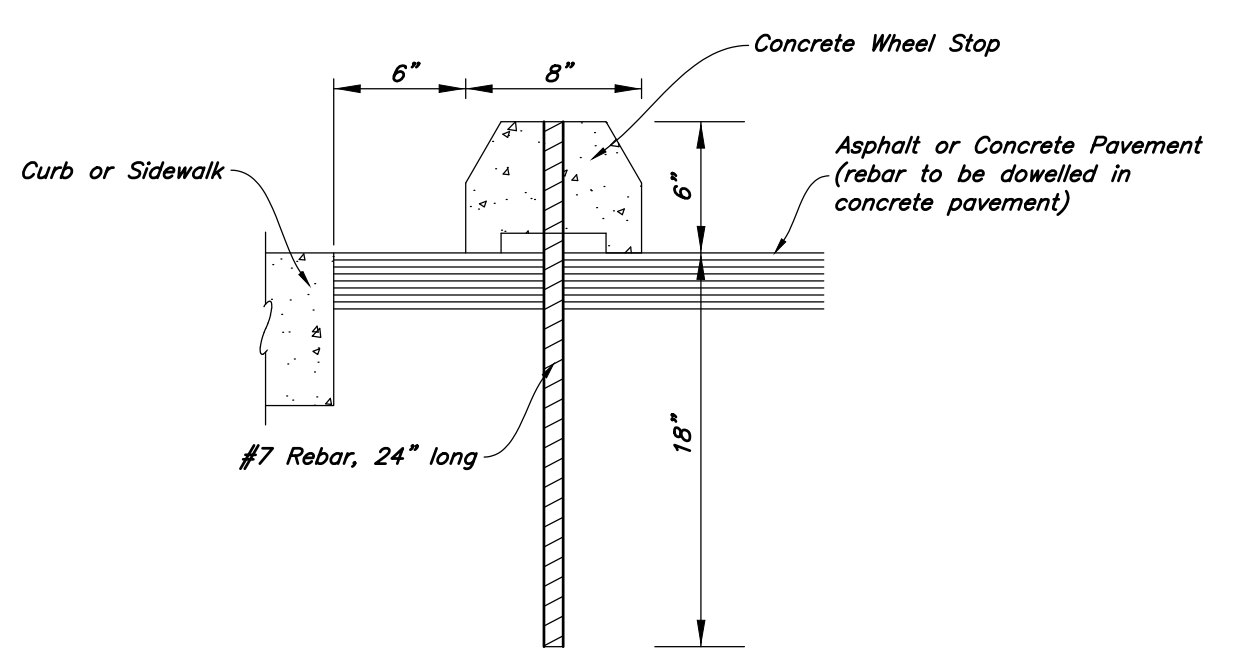
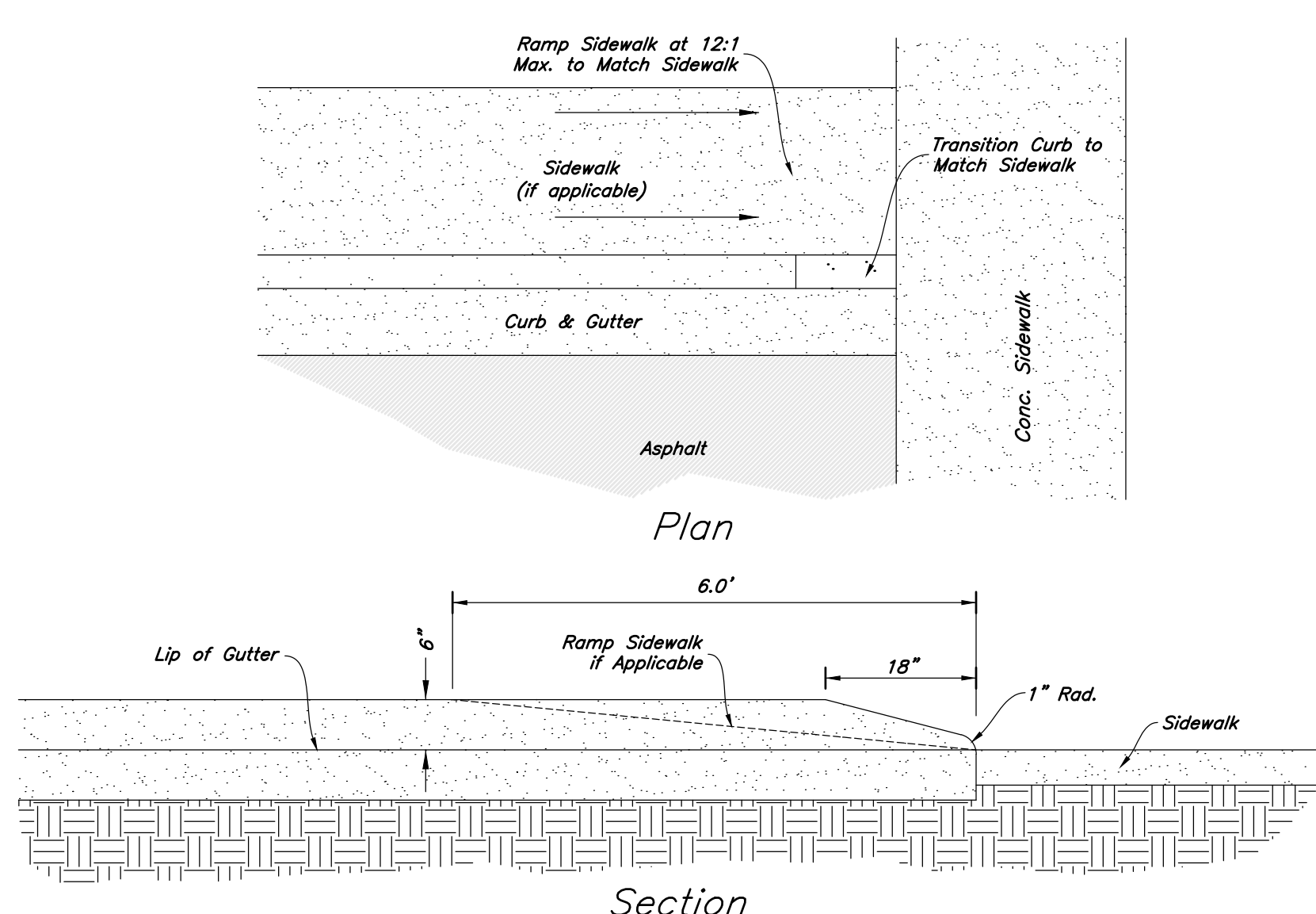
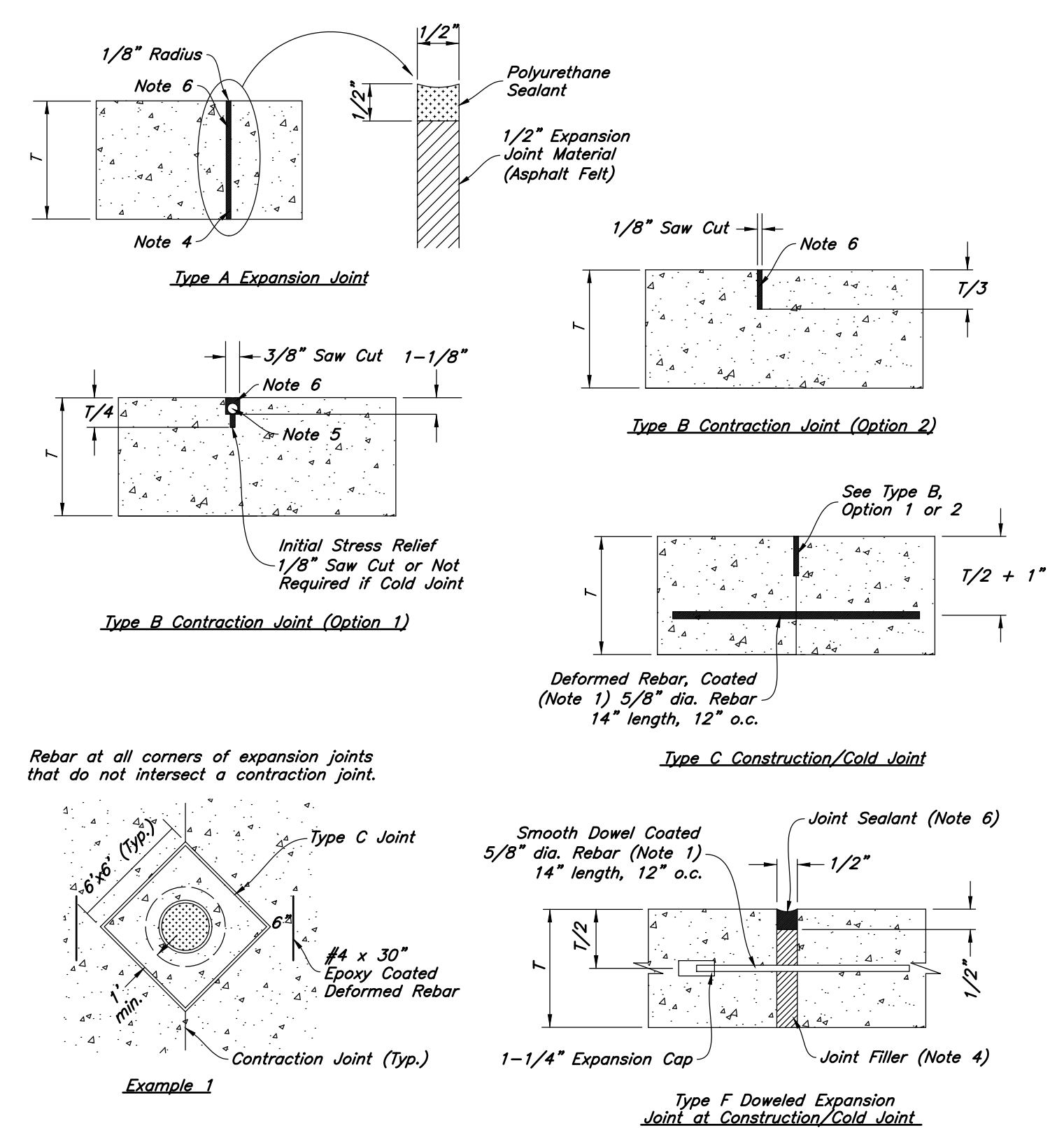
revisions

date: August 15, 2019
project no.: 19-126
Schematic Design

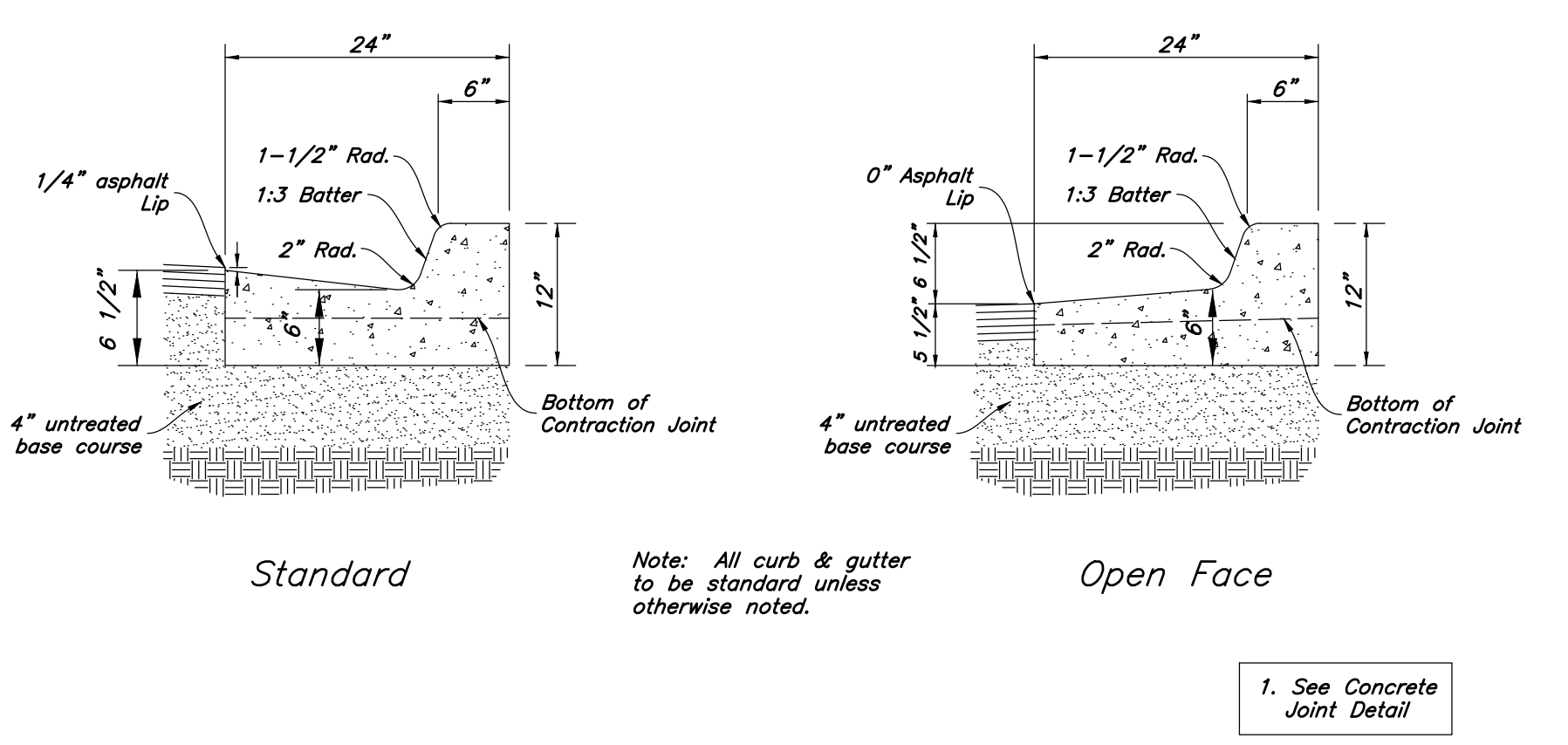
Cache County
Operations Center
Administration Building + Site
Details Sheet
Hyrum, Utah

C4.1

- REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
 - Space rebar and dowels at 12 to 15 inches on center.
 - Grease dowels to provide movement in expansion joints.
 - Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
- SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
- JOINTS:** Lay out joints to aid construction and control random cracking.
 - Joint Spacing shall be 12 feet maximum on center in both directions.
 - Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.
 - Make adjustments in joint locations to meet inlet or manhole locations.
 - Expansion Joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
- JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
- BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
- JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.

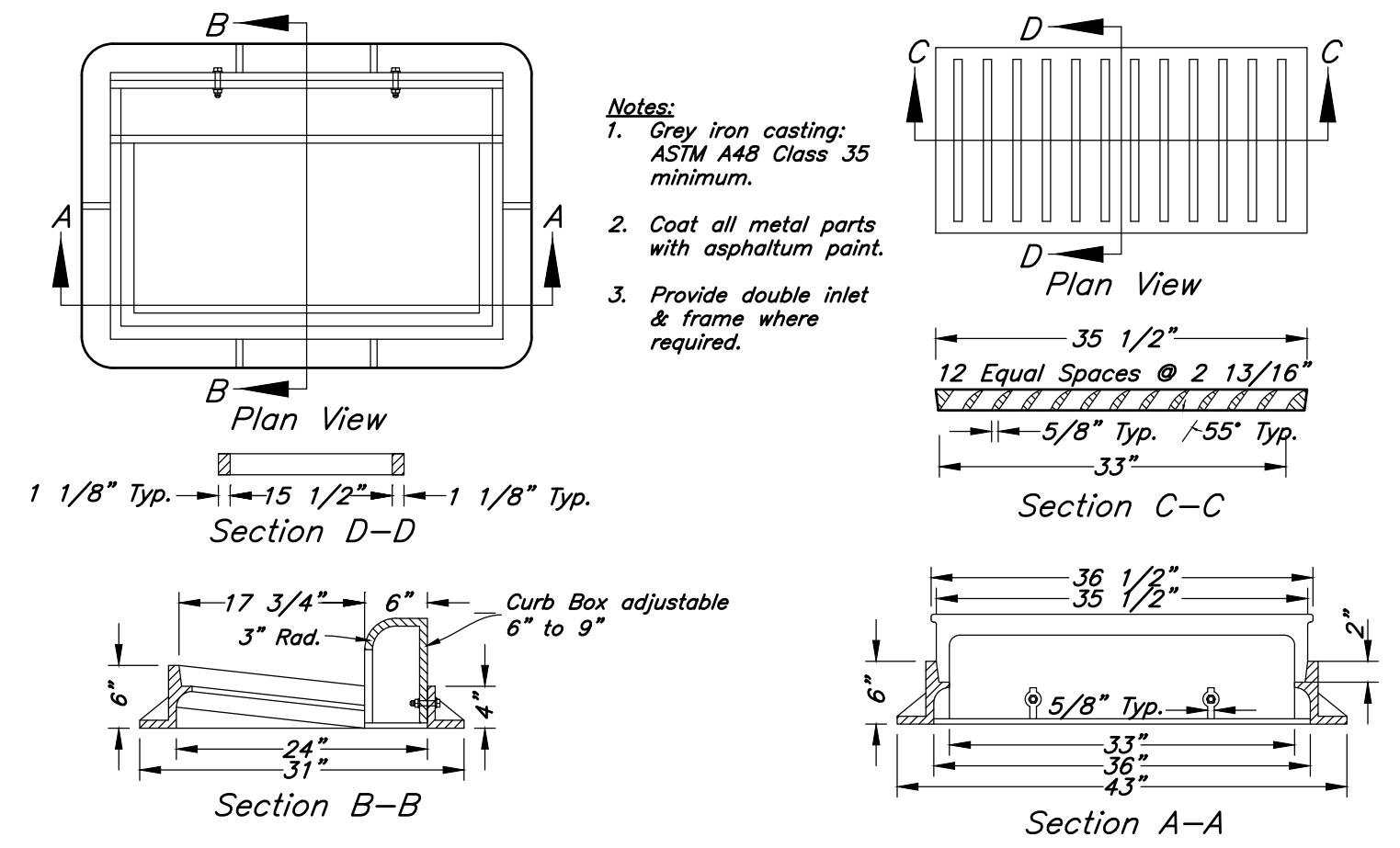


- Contraction Joints**
 - Spacing = 10' o.c., see joint detail
 - 1/8" wide by 2" deep from top of curb at 15'-0" intervals
- Expansion Joints**
 - Make expansion joints full depth, see joint detail
 - Place expansion joint at all cold joints
 - Expansion joints are required at ends of all radii 0.08.
 - Required 5'-0" on each side of drainage structures
 - Required at 90'-0" maximum intervals in straight curb and gutter
 - Provide #6 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (3/8" thick bituminous filler material)
- 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement
- Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter
- Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.
- All radii shall be true arcs
- Medium to light broom finish on all exterior concrete

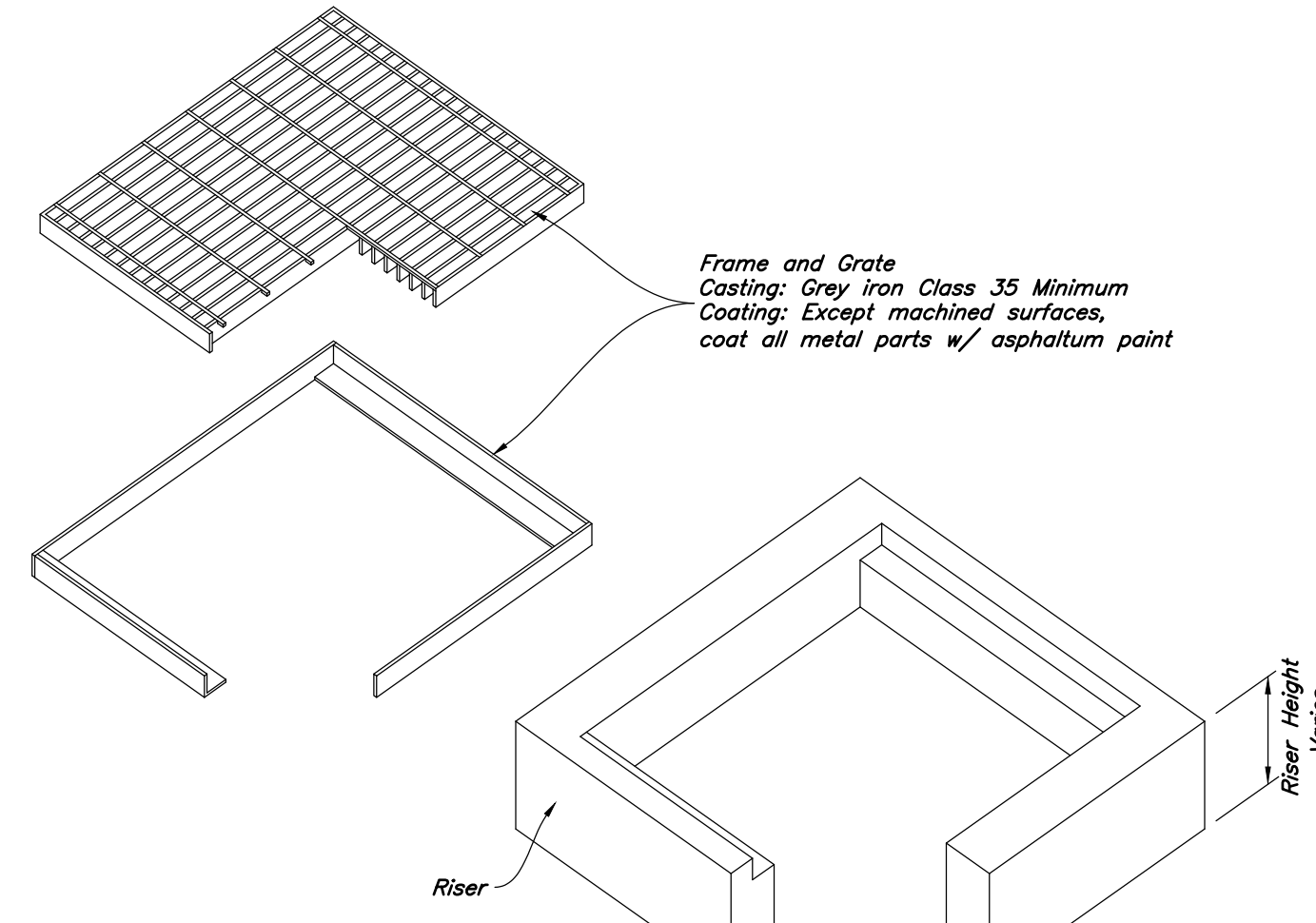


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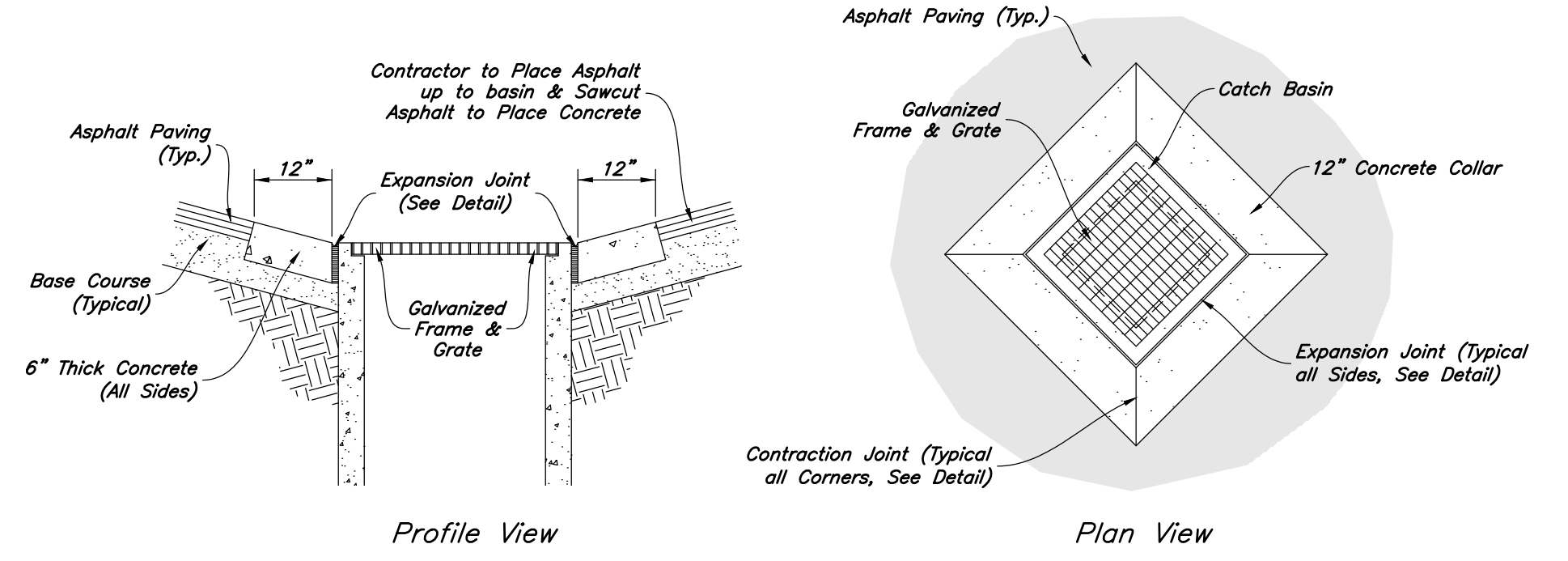
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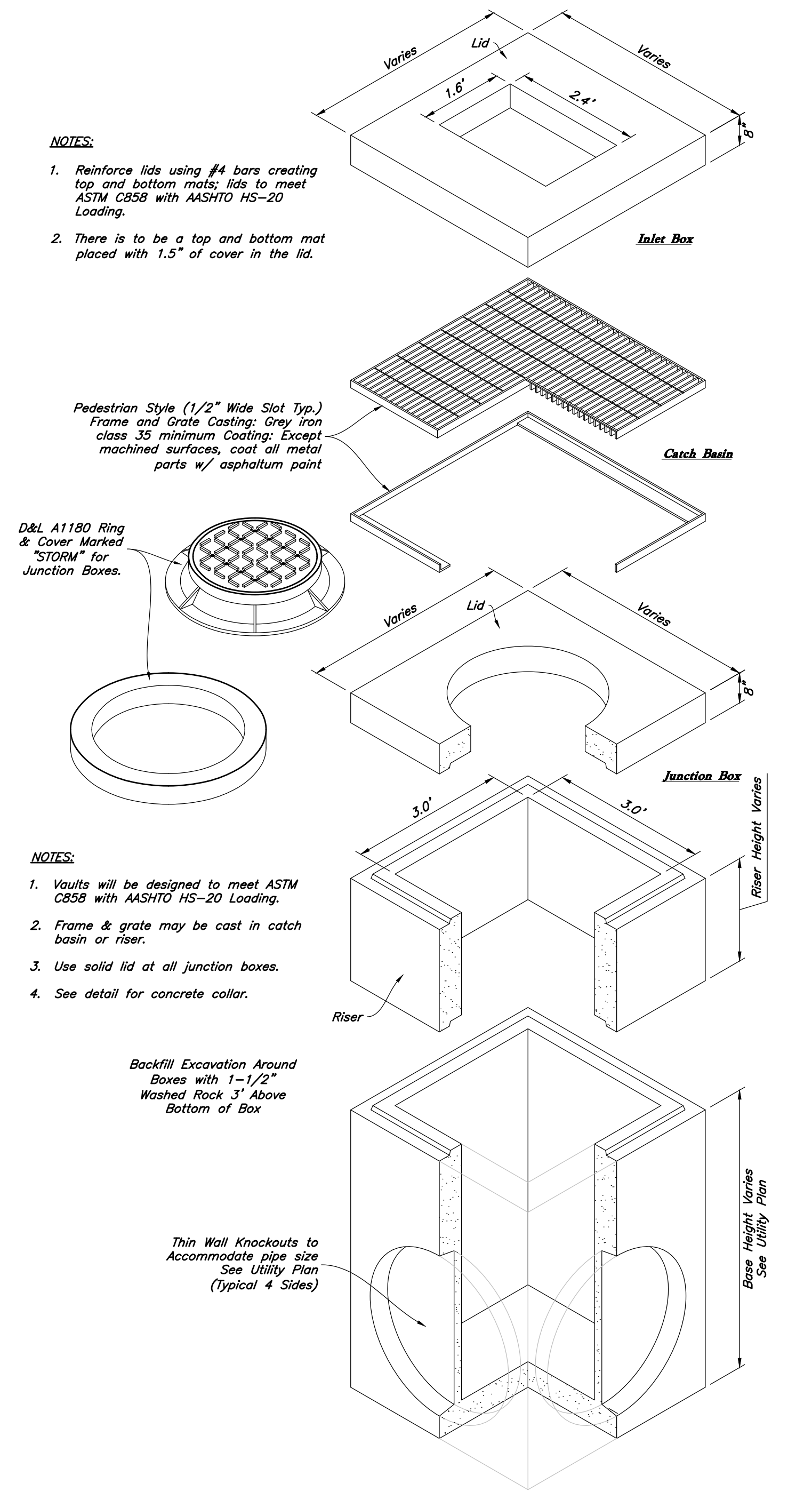
15 Inlet Grate Frame
Not to Scale



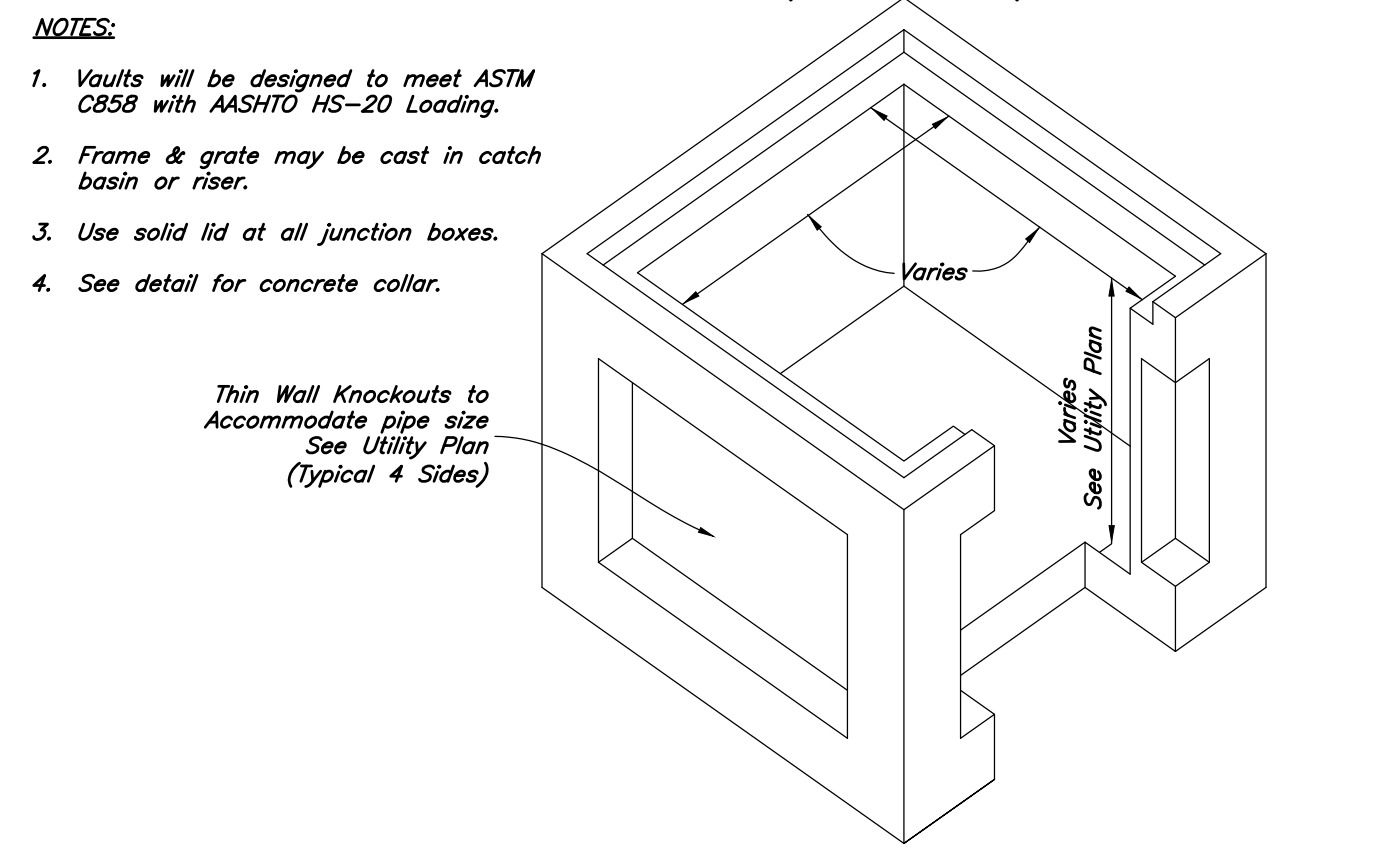
13 Precast Catch Basin
Not to Scale



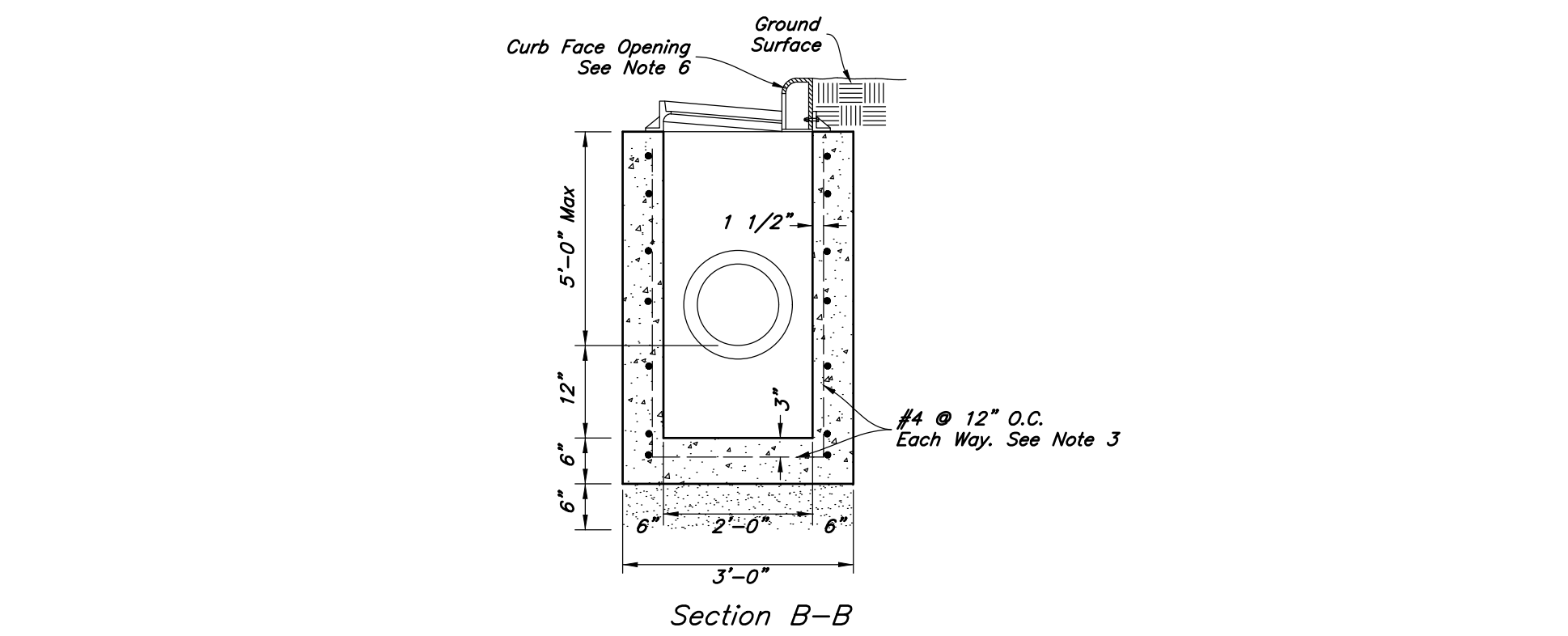
11 Concrete Collar Detail
Not to Scale



14 Precast 3' x 3' Catch Basin Junction Box/Inlet
Not to Scale



12 Orifice Plate Detail
Not to Scale



10 Curb Inlet with Single Grate
Not to Scale

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Blalock and PARTNERS
architectural design studio
250 east 100 south
Salt Lake City, UT 84111
801.532.4940

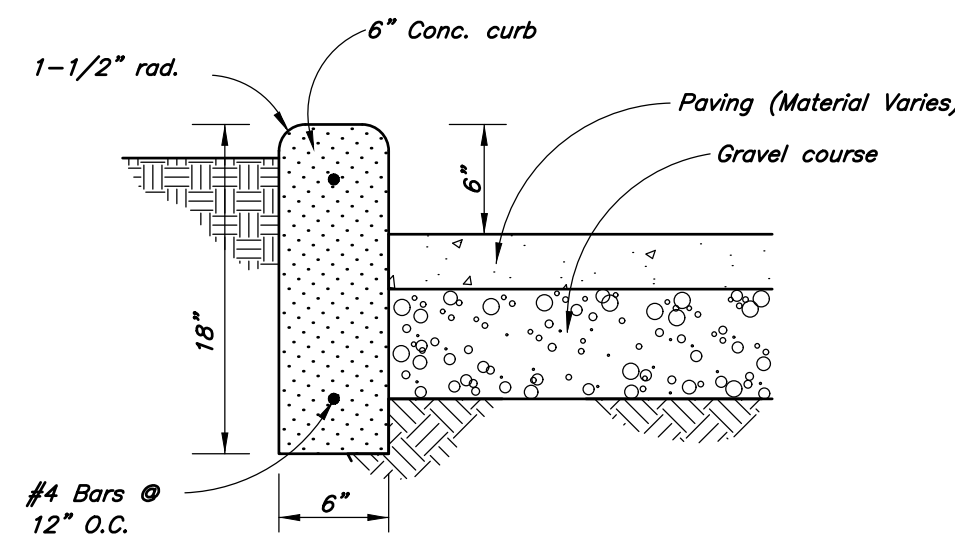
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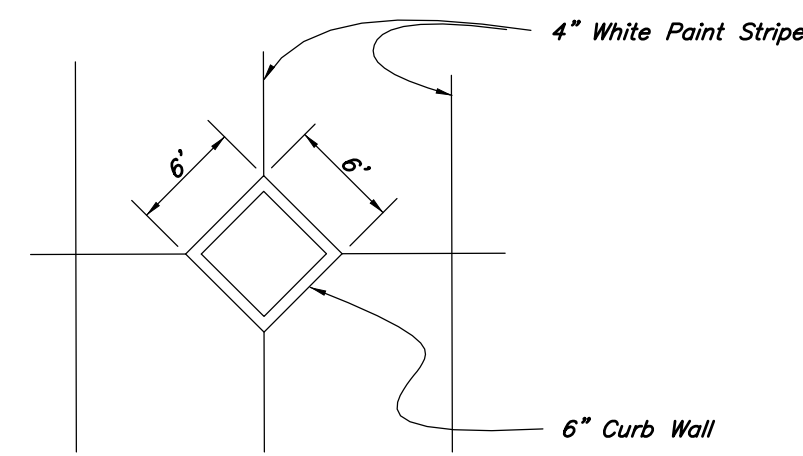
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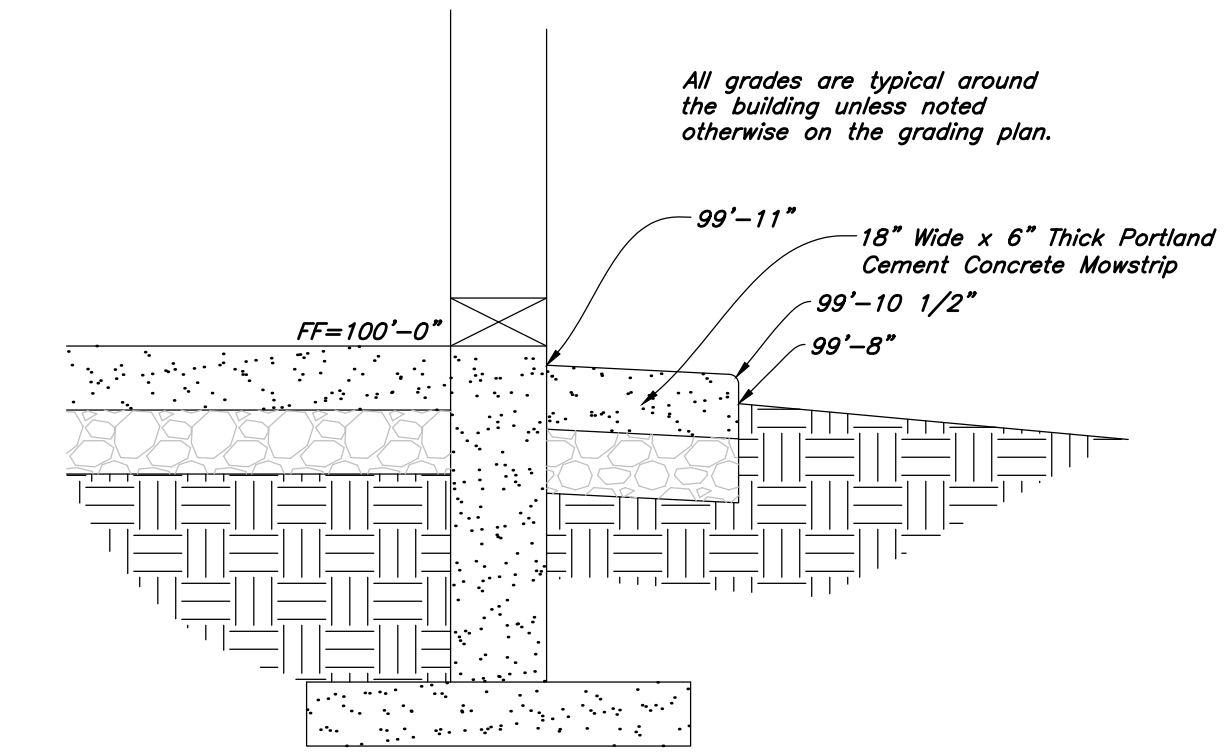
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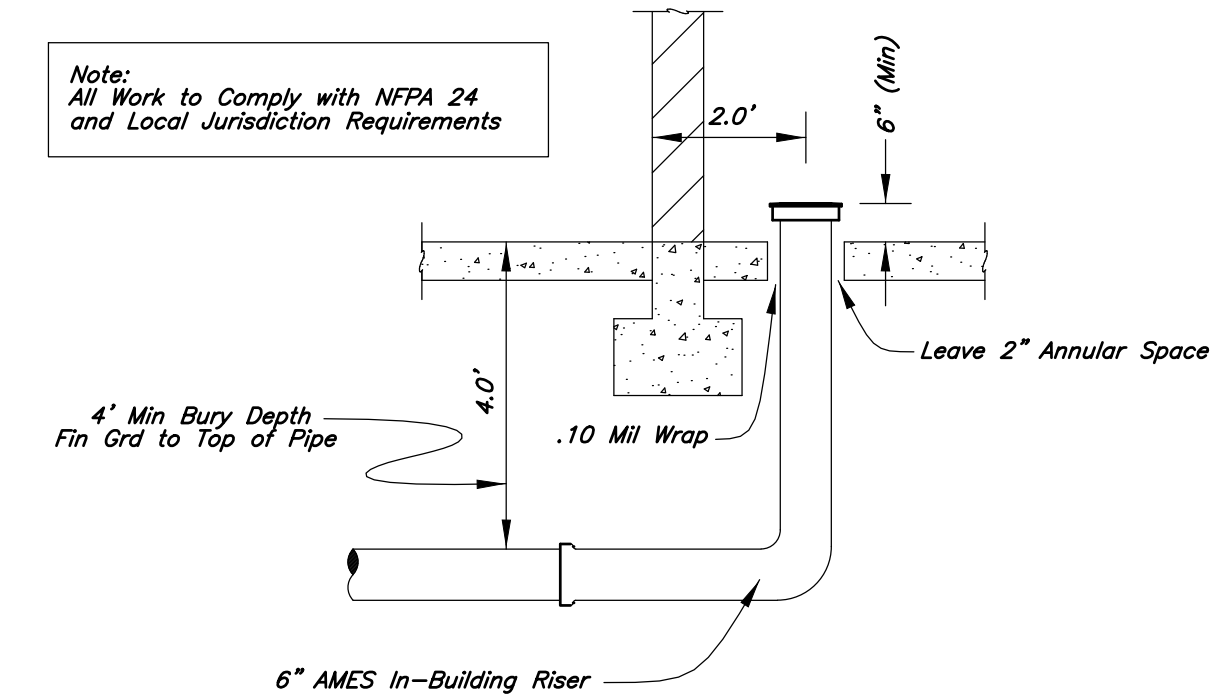
24 **Curb Wall Detail**
Not to Scale



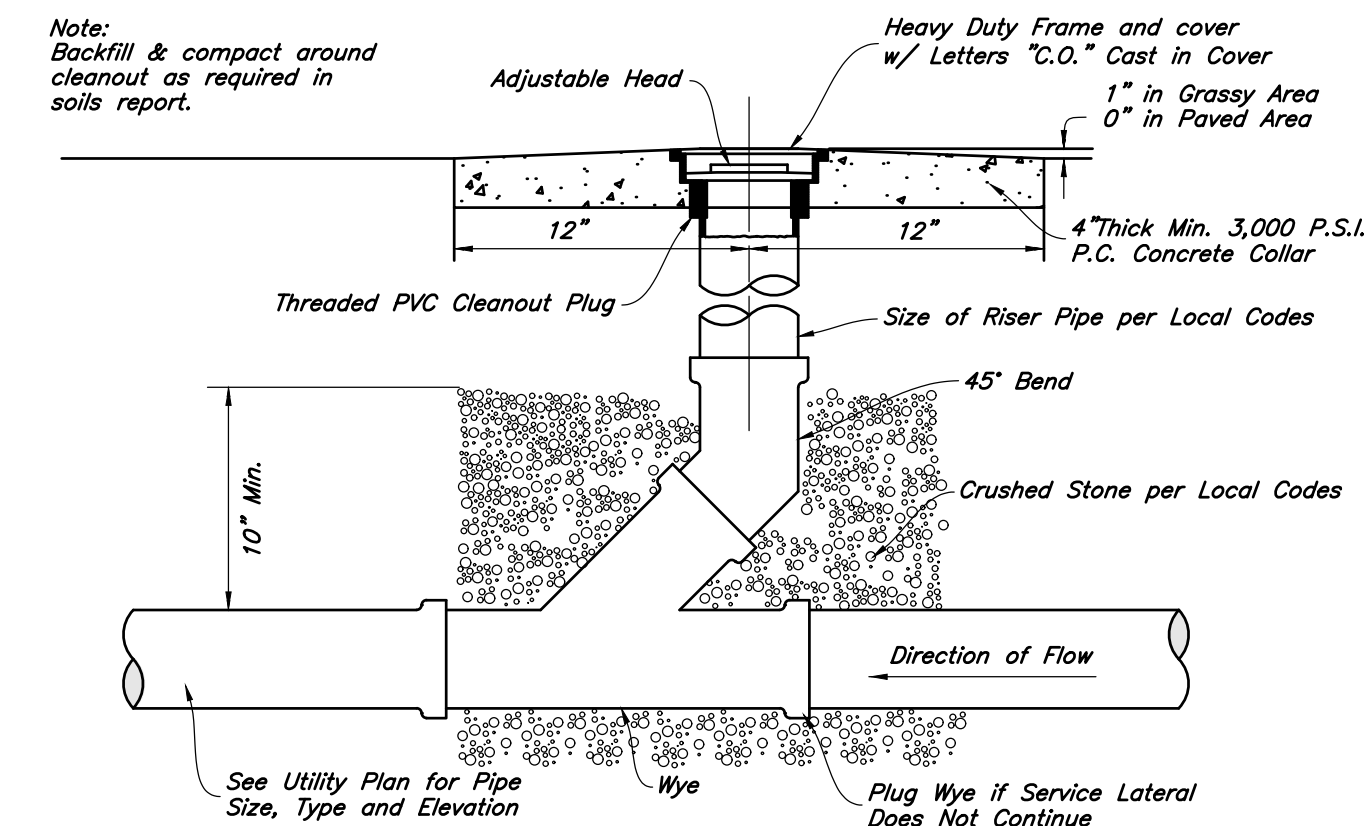
22 **Diamond Planter Detail**
Not to Scale



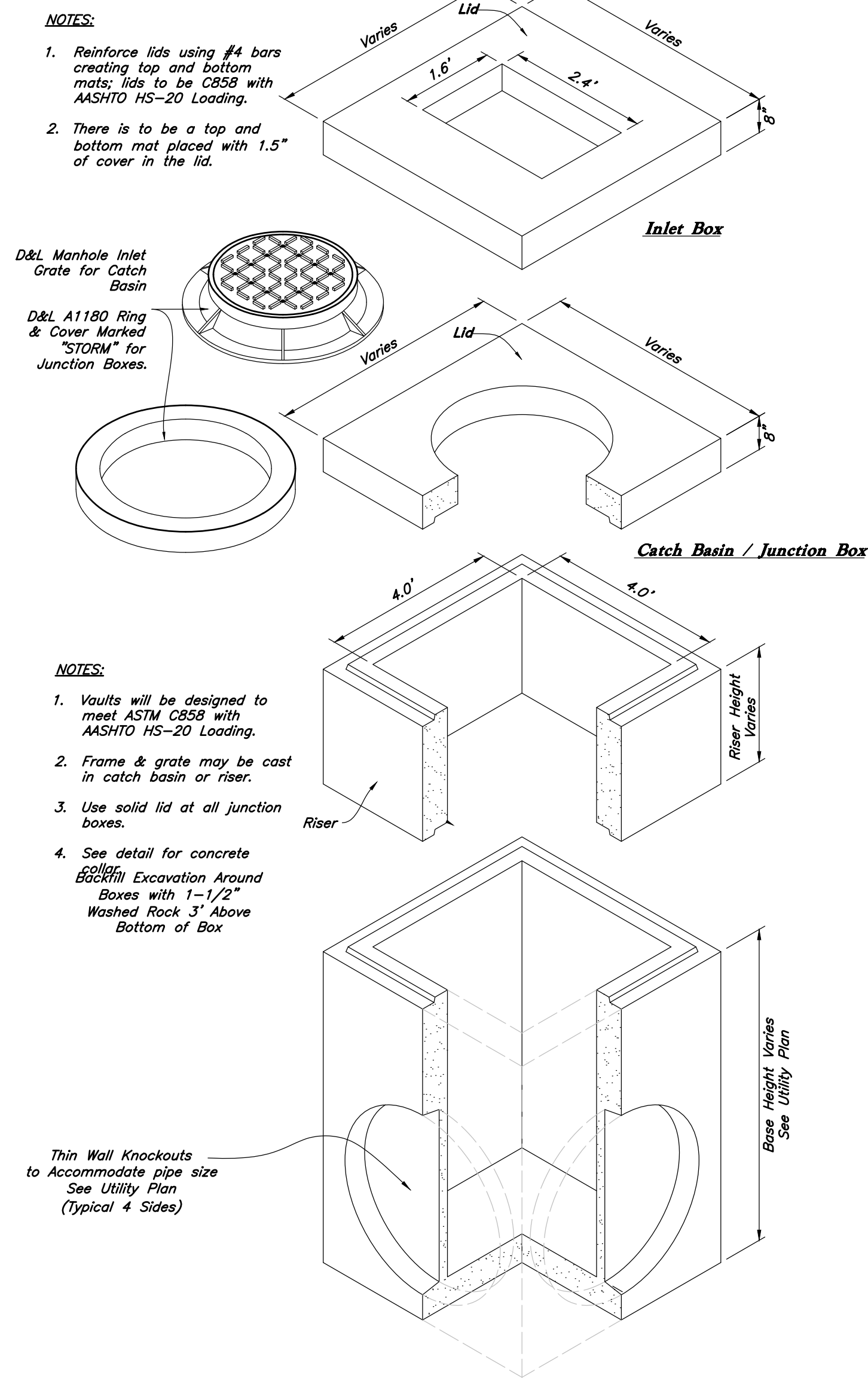
19 **Concrete Mowstrip**
Not to Scale



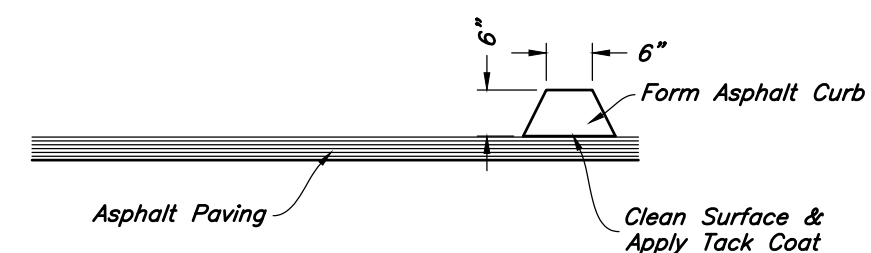
18 **Fire Riser Stub-In Detail**
Not to Scale



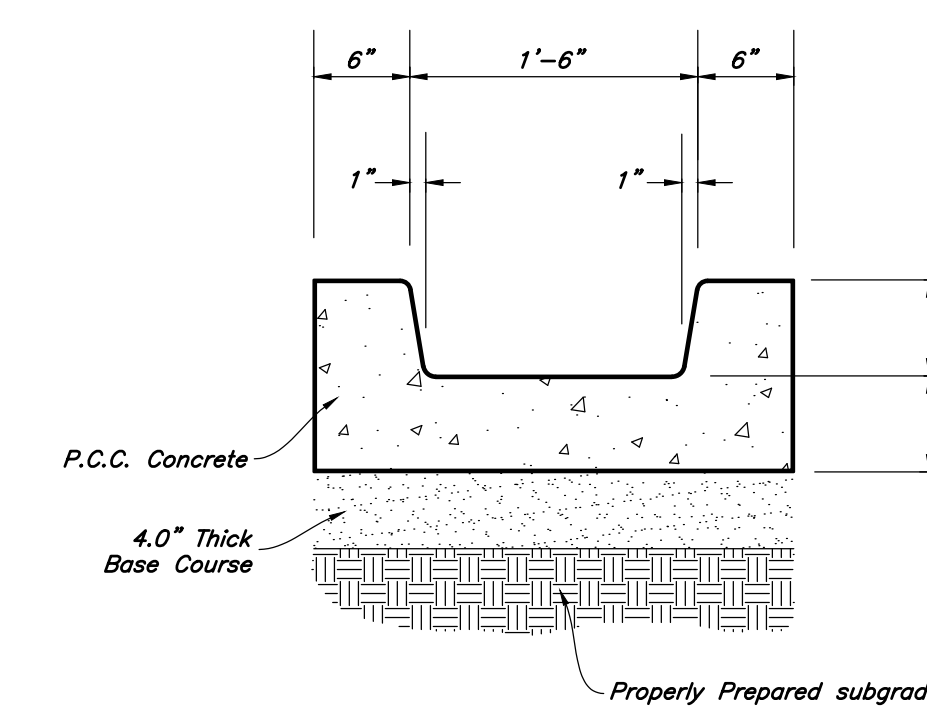
17 **Typical Cleanout Detail**
Not to Scale



23 **Precast 4' x 4' Catch Basin Junction Box/Inlet Box**
Not to Scale



20 **Temporary Asphalt Curb**
Not to Scale



16 **Thru Planter Drainage Channel Detail**
Not to Scale

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C4.3

1

2

3

4

5

SHEET KEYNOTES	
L1	PARKING LOTS - AVERAGE 5 FOOTCANDLES/MINIMUM 0.1.
L2	MAINTENANCE AREA - AVERAGE 5 FOOTCANDLES/MINIMUM 0.1.

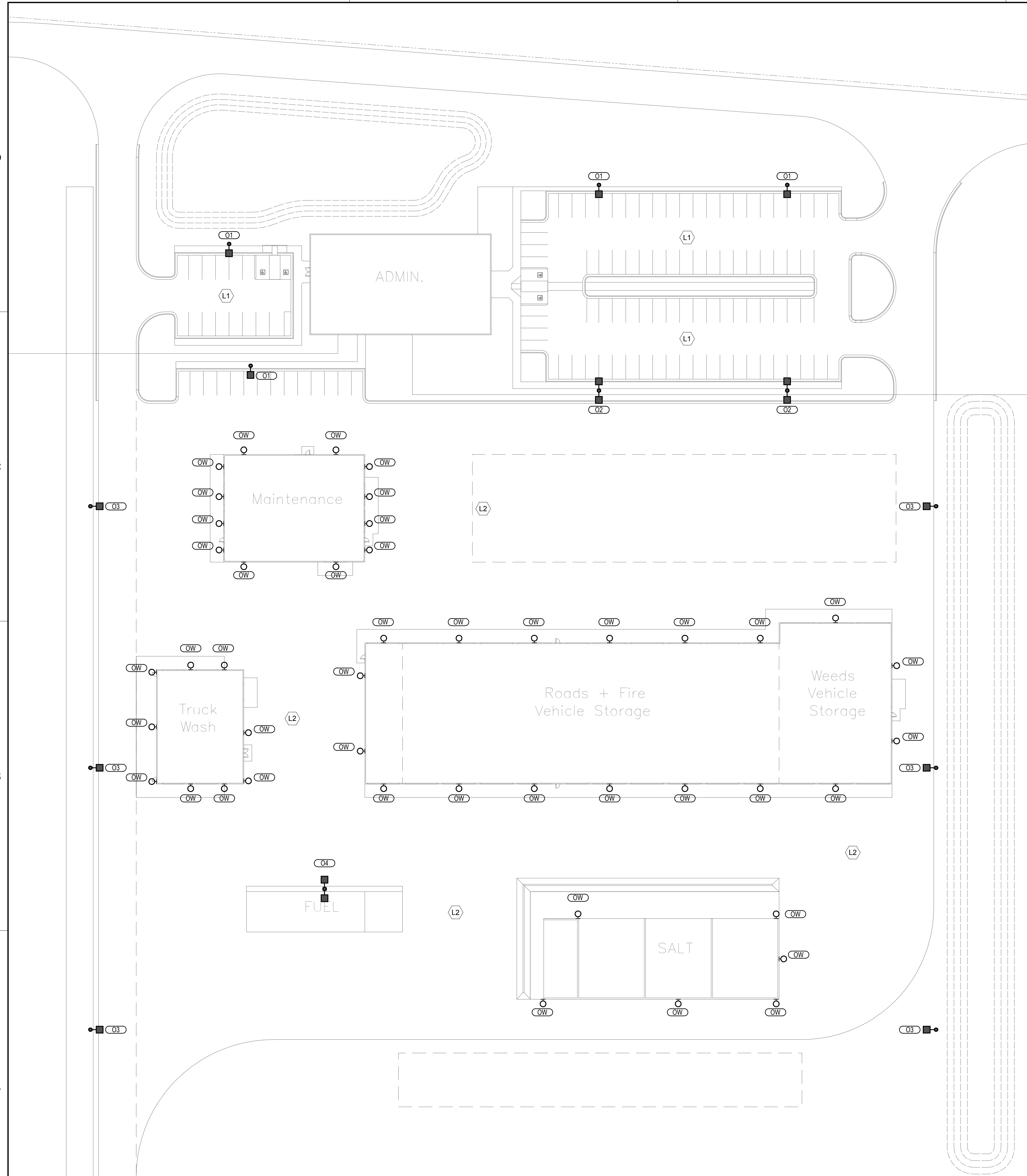
TYPE	DESCRIPTION	MFR.	CATALOG NUMBER	VOLTS	TOTAL WATTS	LAMP
O1	SINGLE HEAD LED PARKING LOT FIXTURE WITH TYPE IV DISTRIBUTION WITH SPILL CONTROL AND 25 FOOT SQUARE STRAIGHT STEEL POLE W/ INTEGRAL VIBRATION DAMPENING/DESIGNED TO 100 MPH GUSTS ON TWO FOOT CONCRETE BASE; INTEGRAL MOTION SENSOR.	MCGRAW EDISON - KW IND.	GLEON-AF-01-LED-E1-SL4-SCBA-MS/DIM-L40W POLE: SSP25-6.0-7-SCBA	277 V	67 VA	LAMP: LED (INCLUDED), LUMENS: 6645 PER HEAD, CCT: 4000°K/5000°K, CRI:70
O2	DUAL HEAD LED PARKING LOT FIXTURE WITH TYPE IV DISTRIBUTION WITH SPILL CONTROL AND 33 FOOT SQUARE STRAIGHT STEEL POLE W/ INTEGRAL VIBRATION DAMPENING/DESIGNED TO 100 MPH GUSTS ON TWO FOOT CONCRETE BASE; INTEGRAL MOTION SENSOR.	MCGRAW EDISON - KW IND.	GLEON-AF-05-LED-E1-SL4-SCBA-MS/DIM-L40W POLE: SSP25-6.0-7-SCBA	277 V	134 VA	LAMP: LED (INCLUDED), LUMENS: 6645 PER HEAD, CCT: 4000°K/5000°K, CRI:70
O3	SINGLE HEAD LED PARKING LOT FIXTURE WITH TYPE IV DISTRIBUTION WITH SPILL CONTROL AND 35 FOOT SQUARE STRAIGHT STEEL POLE W/ INTEGRAL VIBRATION DAMPENING/DESIGNED TO 100 MPH GUSTS ON TWO FOOT CONCRETE BASE; INTEGRAL MOTION SENSOR.	MCGRAW EDISON - KW IND.	GLEON-AF-05-LED-E1-SL4-SCBA-MS/DIM-L40W POLE: SSP25-6.0-7-SCBA	277 V	320 VA	LAMP: LED (INCLUDED), LUMENS: 31723 PER HEAD, CCT: 4000°K/5000°K, CRI:70
O4	DUAL HEAD LED PARKING LOT FIXTURE WITH TYPE IV DISTRIBUTION WITH SPILL CONTROL AND 35 FOOT SQUARE STRAIGHT STEEL POLE W/ INTEGRAL VIBRATION DAMPENING/DESIGNED TO 100 MPH GUSTS ON TWO FOOT CONCRETE BASE; INTEGRAL MOTION SENSOR.	MCGRAW EDISON - KW IND.	GLEON-AF-05-LED-E1-SL4-SCBA-MS/DIM-L40W POLE: SSP25-6.0-7-SCBA	277 V	640 VA	LAMP: LED (INCLUDED), LUMENS: 31723 PER HEAD, CCT: 4000°K/5000°K, CRI:70
OW	WALL MTD LED MATCHING PARKING LOT FIXTURES; TYPE IV WIDE DISTRIBUTION; SCBA; DIE CAST ALUMINUM.	MCGRAW EDISON	GWC-AE-02-LED-E1-T4W-SCBA	277 V	112 VA	LAMP: LED (INCLUDED), LUMENS: 10763, CCT: 4000°K, CRI:70

D

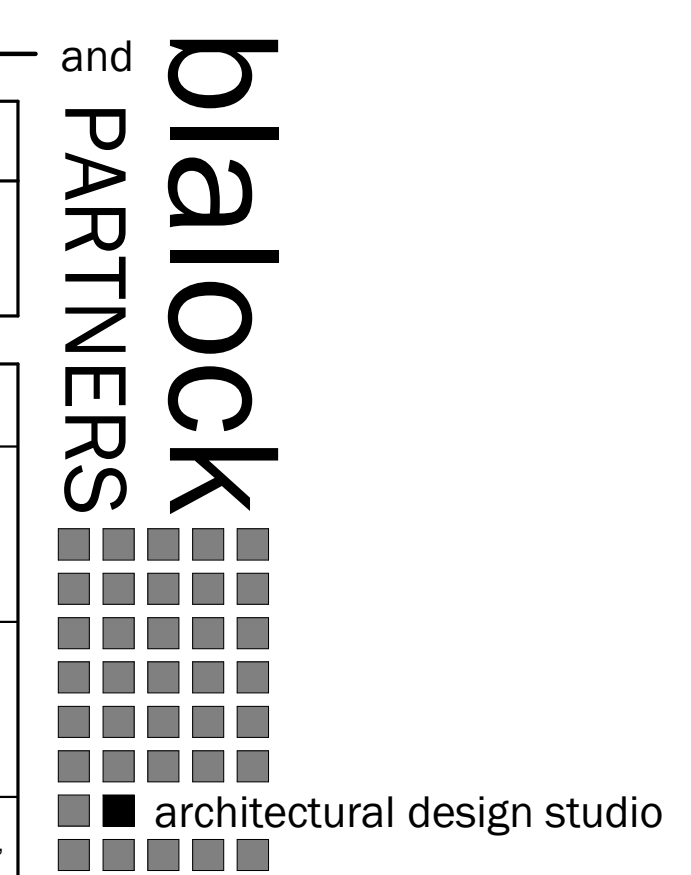
C

B

A



ELECTRICAL SITE PLAN
SCALE = 1" = 40'-0"



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Salt Lake City, UT 84101
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**ELECTRICAL
SITE PLAN
E101**